

HISTORIC PRESERVATION BOARD

JULY 19, 2011

**VARIANCE, CERTIFICATE OF APPROPRIATENESS FOR DEMOLITION AND
CERTIFICATE OF APPROPRIATENESS FOR DESIGN**

2. **FILE NO:** 10-CMV-34
 APPLICANT: Dr. Peter Tomasello
 LOCATION: 922 S. Southlake Drive
 REQUEST: Variances, Certificate of Appropriateness for
 Demolition and Certificate of Appropriateness
 for Design for renovations to a single-family
 home within the Lakes Area Historic Multiple
 Resource Listing District.

**CITY OF HOLLYWOOD, FLORIDA
INTER-OFFICE MEMORANDUM
PLANNING & DEVELOPMENT SERVICES**

DATE: July 19, 2011 **FILE:** 10-CMV-34

TO: Historic Preservation Board

VIA: Andria Wingett, Planning Manager *AW*

VIA: Julie Walls Krolak, Principal Planner *JK*

FROM: Elizabeth Chang, Planning and Development Services Administrator *EC*

SUBJECT: Dr. Peter Tomasello requests Variances, Certificate of Appropriateness for Demolition and Certificate of Appropriateness for Design for renovations to a single-family home located at 922 S. Southlake Drive within the Lakes Area Historic Multiple Resource Listing District.

APPLICANT REQUEST

Variances, Certificate of Appropriateness for Demolition and Certificate of Appropriateness for Design for renovations to a single-family home.

STAFF'S RECOMMENDATION

Certificate of Appropriateness for Demolition: To be determined by Historic Preservation Board.

Variance: Approval.

Certificate of Appropriateness for Design: Approval, if Certificate of Appropriateness for Demolition and Variance are granted with the condition a Unity of Title, in a form acceptable to the City Attorney, be submitted prior to the issuance of permits and recorded in the Broward County Public Records prior to Certificate of Occupancy (C/O).

PROPOSED PROJECT

Certificate of Appropriateness for Demolition

The applicant is proposing to demolish and rebuild portions of an existing single-family home in the Lakes Area Multiple Resource Listing District. The approximate 4,400 sq ft one-story home was originally constructed in 1952 (Broward County Property Appraiser) and is located on multiple lots approximately 96 ft wide by 176 ft long. The portions to be demolished are sections of the east, west, and south walls in order to incorporate garages and additional living space which includes a new second floor.

According to information provided by the applicant, several alterations/renovations have occurred to the home, including additions in the 50s and 70s. It is the applicant's intent to improve the structure while maximizing the use of their property. Currently, the home is below

the required FEMA elevation and as a result, flooding occurs to the home. Demolition will allow the applicant to maintain a majority of the home while making the necessary improvements. The proposed demolition and renovations will allow the applicant to create a safer structure which can last over a long period of time. Additionally, the home will be brought up to Code and floor elevation will be raised. Pictures provided show the existing structure and adjacent properties. (Attachment A)

The structure is located within the Lakes Area Historic Multiple Resource Listing District and the Zoning and Land Development Regulations requires the applicant obtain a Certificate of Appropriateness for Demolition. Should the Historic Preservation Board deem the structure non-historic no further action is required and a Certificate of Appropriateness for Demolition shall be issued. However, if the structure is determined to be historic, a recommendation will be made by Historic Preservation Board to the City Commission regarding demolition.

Certificate of Appropriateness for Design

The existing home, built in 1952, does not appear to have a distinctive character or unique architectural features but was constructed during the period of Post War Modern and may contain a style similar to that of Ranch style homes. According to information provided by the applicant, several alterations/renovations were made to the home which included additions in the 50s and 70s. The proposed renovations and additions include removal of portions of the east, west, and south walls. The home will be expanded with the incorporation of two garages and additional living space including a second floor. Included in the scope of work is a new pool and deck at the rear of the home. Once completed, the home will contain approximately 9,250 sq ft.

The proposed design is similar to that of adjacent structures and is sensitive to the neighborhood. Architectural features of the proposed design are that of Mediterranean with multi-level low-pitched hipped roofs, S-shaped roof tiles, columns, arches, brackets, balustrades, and balconies. While additions and new construction are discouraged in copying historic styles, they should be designed to be compatible with other structures in the neighborhood in materials, size, scale, and texture.

A request for a Variance for the front yard setback is also included in the application. Currently, the property contains non-conforming setbacks and with the proposed demolition, the applicant would be required to conform to current Code during reconstruction. The applicant is proposing demolition of existing exterior walls in order to reinforce the structure. Zoning and Land Development Regulations require an 80 ft front yard setback for properties adjacent to the lake. The existing non-conforming setback is approximately 40 ft and it is the applicant's intent to rebuild the front wall at approximately 42 ft which is consistent with adjacent properties. The Variance request is to waive the required front yard setback of 80 ft to allow 42 ft.

The property is located on a corner lot and is designed to be consistent with adjacent properties. As stated in the Design Guidelines, "Within the context of historic preservation, elements of design such as massing, scale and rhythm reflect architectural style as well as the richness of the historic district." The existing one-story home is approximately 9 ft and proposed are renovations and additions to allow for a two-story home, approximately 30 ft. However, massing remains proportionate with the street and surrounding properties. Furthermore, while the existing home is one story, adjacent properties are either two stories or contain high pitched roofs allowing for the appearance of extended height. Scope of work includes interior renovations, new windows and doors, new paver driveway to replace asphalt, and new pool and

deck. Additional landscaping will be incorporated and upon completion, the site will contain approximately 40% pervious surfaces.

SITE BACKGROUND

Applicant/Owner: Dr. Peter Tomasello
Address/Location: 922 S. Southlake Drive
Size of Property: 0.38 acres
Present Zoning: Single Family Residential (RS-9)
Lakes Area Historic Multiple Resource Listing District
Present Land Use: Single Family Residential
Year Built: 1952 (Broward County Property Appraiser)

ADJACENT ZONING

North: Single Family Residential District (RS-9)
Lakes Area Multiple Resource Listing District (HMPRL0D-1)
South: Single Family Residential District (RS-6)
Lakes Area Multiple Resource Listing District (HMPRL0D-1)
East: Government Use District (GU)
West: Single Family Residential District (RS-6)
Lakes Area Multiple Resource Listing District (HMPRL0D-1)

CONSISTENCY WITH THE COMPREHENSIVE PLAN

Within the Comprehensive Plan, the primary goal of the Land Use Element is to "promote a distribution of land uses that will enhance and improve the residential, business, resort and natural communities while allowing the land owners to maximize the use of their property."

Demolition of the structure allows the applicant to make the necessary improvements while maximizing the use of their property. By allowing the applicant to improve the structure, the City is accomplishing the desired reinvestment in an existing contributing site in the Lakes Area Historic Multiple Resource Listing District while maintaining the character of the neighborhood.

CONSISTENCY WITH THE CITY-WIDE MASTER PLAN

The City-Wide Master Plan places a priority on protecting, preserving and enhancing residential neighborhoods. It addresses the need for strict design controls to maintain the individual character of each neighborhood. The proposed renovations and additions are sensitive to the character of the Lakes Area Historic Multiple Resource Listing District.

Policy CW.15: Place a priority on protecting, preserving and enhancing residential neighborhoods.

Sub-Area 2 Policy 2.46: Preserve stable neighborhoods and encourage rehabilitation initiatives that will revitalize and promote stability of neighborhoods.

The proposed renovations and second story addition is designed to be sensitive to the adjacent structures and will be approximately 30 feet in height. While the applicant is proposing demolition, it is for portions of the east, west, and south walls. Furthermore, the renovations proposed are consistent with the residents' desire to maintain the Lake's unique charm.

CONSISTENCY WITH THE HOLLYWOOD LAKES NEIGHBORHOOD PLAN

The Hollywood Lakes Neighborhood Plan seeks to maintain and preserve the character and integrity of the existing residential community by protecting historical areas. It also seeks to eliminate the encroachment of negative residential uses.

Demolition of the existing structure is compatible with the City's Design Guidelines for Historic Properties and Districts and will ensure the stability and character of the neighborhood. Demolition will not adversely affect the integrity of the Historic District. Removal of portions of exterior walls will allow for additional living space with an added second floor. Furthermore, these renovations will allow the applicant to bring the home up to current code and improve the stability of structure so it can last over a long period of time.

DECISIONS ON CERTIFICATES OF APPROPRIATENESS FOR PARTIAL DEMOLITION

Based on the following criteria and other appropriate considerations, the Board must determine if the building is of historic significance. However, the Zoning and Land Development Regulations does not provide guidance as to how much weight should be given to each criterion.

- CRITERION 1:** Association with events that have made a significant contribution to the broad patterns of our history.
- CRITERION 2:** Association with the lives of persons significant in our past.
- CRITERION 3:** Embodiment of distinctive characteristics of a type, period, or method of construction.
- CRITERION 4:** Possession of high artistic values.
- CRITERION 5:** Representation of the work of a master.
- CRITERION 6:** Representation of a significant and distinguishable entity whose components may lack individual distinction.
- CRITERION 7:** Yield, or the likelihood of yielding information important in prehistory or history.

The Zoning and Land Development Regulations Section 5.6.F.5.d states the Historic Preservation Board shall consider the following criteria in evaluating an application for a Certificate of Appropriateness for Partial Demolition.

- CRITERION 1:** The building, structure, improvement, or site is designated on either a national, state, or local level as an historic preservation district or an architectural landmark or site.

ANALYSIS: The Historic District Design Guidelines recommend *identifying, retaining and preserving buildings which are important in defining the overall historic character of a historic district or neighborhood*. According to information from the Broward County Property Appraiser, the structure was built in 1952. According to information provided by the applicant, several

alterations/renovations were made to the home which included additions in the 50s and 70s. Due to alterations to the original structure, it does not appear to have a distinctive character or unique architectural features but was constructed during the period of Post War Modern and may contain a style similar to that of Ranch style homes. The applicant is proposing to demolish and rebuild portions of exterior walls. It is by determination of the Historic Preservation Board as to whether the existing structure is considered historic or non-historic.

The Historic District Design Guidelines state *non-historic buildings whose designs are not in character with its surroundings can be removed with no negative impact*. Additionally, the Guidelines further state *non-significant buildings, additions, or site features which detract from the historic character of a site or the surrounding district should be removed*. Should the Historic Preservation Board determine the structure non-historic no further action is required and a Certificate of Appropriateness for Demolition shall be issued. If the structure is found historic or of historic significance a recommendation will be made by the Board to the City Commission regarding demolition.

CRITERION 2: The building, structure, improvement, or site is of such design, craftsmanship, or material that it could be reproduced only with great difficulty and/or expense.

ANALYSIS: According to the Historic District Design Guidelines, *demolition may be undertaken if the structure does not exhibit stylistic details or fine workmanship*. The home was constructed during the period of Post War Modern and may be similar to a Ranch style. These homes were constructed en masse after World War II when there was a need for quick, efficient housing. This style was popular with builders as they were relatively inexpensive and used simple materials with none of the traditional detailing.

CRITERION 3: The building, structure, improvement, or site is one of the last remaining examples of its kind in the neighborhood, the county, or the region.

ANALYSIS: The Historic District Design Guidelines allow for the removal of *non-significant buildings, additions, or site features which detract from the historic character of a site or the surrounding district or neighborhood*. The applicant has provided information which shows that alterations/renovations were made to the home during the 50s and 70s. These changes have allowed the home to be inconsistent with the surrounding neighborhood. There are other examples of Post War Modern Ranch located throughout the District that are in better condition and are more distinctive.

CRITERION 4: The building, structure, improvement, or site contributes significantly to the historic character of a historically designated district.

ANALYSIS: The Historic District Design Guidelines recommend avoiding *removing historic buildings, which are important in defining the overall historic character of a district or neighborhood so the character is diminished*. The

existing home, built in 1952, does not appear to have a distinctive character or unique architectural features but was constructed during the period of Post War Modern and may contain a style similar to that of Ranch style homes. Based on age, the home can be considered contributing, but lacks distinctive architectural features unlike other example of Ranch style homes in the District.

In order to maintain a historical record of the building to be demolished, the Board may request that the Hollywood Historical Society, or the owner at the owner's expense, document and record the property for the archival record. Such documentation may include measured drawings and large-scale photography. In addition, the Historic Preservation Board may require the applicant place a marker on the property which provides the historic background of the structure to be demolished, as stated in the Historic District Design Guidelines.

CRITERION 5: Retention of the building, structure, improvement, or site promotes the general welfare of the city by providing an opportunity for study of local history, architecture, and design or by developing an understanding of the importance and value of a particular culture and heritage.

ANALYSIS: According to information from the Broward County Property Appraiser, the original structure was constructed in the 1952. Portions of the home will be maintained; however, the applicant is proposing to demolish a majority of exterior walls. It is the applicant's intent to demolish and rebuild the structure in order to maximize the use of their property and improve the structure.

CRITERION 6: There are definite plans for reuse of the property if the proposed demolition is carried out, and those plans will adversely affect on the historic character of the Historic District.

ANALYSIS: The Historic District Design Guidelines state *while the problem of vacant and abandoned buildings is serious, vacant land can be worse. It frequently contributes to a poor environment and nuisance abatement problems may result.* The applicant has submitted a request of Certificate of Appropriateness for Design for renovations and additions. It is the applicant's intent to utilize portions of the existing structure in order to rebuild a home which will accommodate their needs as well as incorporate a design more consistent with adjacent properties.

CRITERION 7: The Unsafe Structures Board has ordered the demolition of a structure or the feasibility study determines that the retention of the building would deny the owner of all economically viable uses of the property.

ANALYSIS: The Historic District Design Guidelines state *one of the factors to consider demolition is persuasive evidence to show that retention of the building is not technically or economically feasible.* Demolition has not been ordered by the Unsafe Structures Board.

The applicant would like to maximize the use of their property by

constructing a home to accommodate their needs as well as incorporate a design more consistent with the surrounding neighborhood. It is the applicant's intent to improve the property and structure which will require selective demolition. Portions of the existing home will be maintained; however a majority of the exterior walls will be demolished and rebuilt. According to the engineer, "We estimate that the proposed selective demolition of the concrete floor joists, concrete slabs, masonry walls, concrete grade beams and piling will cost \$40,400.00. The proposed selective demolition is considerable more than the estimated cost of \$17,800.00 for complete demolition of all existing structures."

CRITERION 8: The information listed in the Historic Properties Database (a listing of historic and non-historic properties) has been considered as a guideline in determining whether a Certification of Appropriateness for Demolition should be issued.

ANALYSIS: The Historic District Design Guidelines state, *non-historic buildings whose design are not in character with its surroundings can be removed with no negative impact.* The applicant has provided information which shows alterations/renovations took place during the 50s and 70s. The property is not listed as a historic property and does not appear to contain distinctive architectural features; however, it was constructed in 1952 (Broward County Property Appraiser) and can be considered contributing based on age.

DECISIONS ON CERTIFICATES OF APPROPRIATENESS FOR DESIGN

A decision on an application for a Certificate of Appropriateness for Design for new building construction, additions to existing building, major renovation work or substantial alteration shall be based upon evaluation of the compatibility of the physical alteration or improvement with and adherence to the criteria for designation listed in § 5.6.F.

Criteria: integrity of location, design, setting, materials, workmanship and association.

CRITERION: INTEGRITY OF LOCATION

ANALYSIS: Design Guidelines for Historic Properties and Districts recommends *consistent spacing and setbacks.* Additionally, the Guidelines further recommend having the *main entrance oriented to the street and site coverage similar to adjacent lots.* The main structure meets required setbacks on the north, south, and east. A Variance for the west (front yard) setback is included in the request. This setback is consistent with adjacent properties and is similar to what currently exists. The property has non-conforming setbacks at approximate 40 ft. Properties adjacent to the lake are required to maintain an 80 ft setback and with the proposed design, the applicant is requesting to replicate the non-conforming setback at approximately 42 ft.

Orientation of the building is consistent with the Design Guidelines recommendations. Building to lot proportions is consistent with other residences in the neighborhood and will not have negative impacts on adjacent properties.

FINDING: Consistent

CRITERION: DESIGN

ANALYSIS: The Design Guidelines for Historic Properties and Districts recommend *compatible new additions with regards to scale, materials, texture and color*. It further recommends *protection of architectural details and features that contribute to the character of the building*. The design element of scale relates to the size of the building components or spaces relative to the human body as well as to the larger context relative to the surrounding buildings, streetscape and environment. Sometimes scale is a specific component of a particular architectural style. The applicant is proposing a new design which includes a second story and will incorporate architectural features and elements similar to that of adjacent properties. While additions and new construction are discouraged in copying historic styles, they should be designed to be compatible with other structures in the neighborhood in materials, size, scale, and texture.

According to the applicant, "As the Street Profile reflects the size, shape and spacing is consistent with the neighboring Home. The new addition will also have a Hip concrete S tile roof similar to the other Homes in the area."

FINDING: Consistent

CRITERION: SETTING

ANALYSIS: The Historic District Design Guidelines state *setting is the relationship of buildings within the Historic District and the surrounding site and neighborhood*. When making alterations or additions it is recommended *distinctive features such as size, mass, color, and materials of buildings* are retained. According to the Design Guidelines for Historic Properties and Districts, massing is an element of design and relates to how the building form, shape and components are perceived in relation to its length, width, height, lot coverage, and setting of the structure in context with adjacent buildings. Massing plays an important role in determining the character of individual properties, the street, and the surrounding neighborhood. The massing of structures should focus on the diversity of styles.

The existing one-story home is approximately 9 ft and proposed design will accommodate a two-story home, approximately 30 ft. However, massing remains proportionate with the street and surrounding properties. Furthermore, while the existing home is one story, adjacent properties are either two stories or contain high pitched roofs allowing for the appearance of extended height.

The building was originally constructed in 1952 and is located on multiple lots approximately 96 feet wide by 175 feet long, as shown on the survey. The existing north, south, and east setbacks are maintained and, as proposed; the renovations will be consistent with the surrounding neighborhood. In order to preserve the existing setting and comply with this

critterion, **staff is recommending the condition the applicant provide a Unity of Title.**

FINDING: Consistent with the imposition of staff's condition.

CRITERION: MATERIALS

ANALYSIS: Design Guidelines for Historic Properties and Districts state *where historic or architecturally significant structures predominate, the use of similar exterior construction materials are appropriate.* Furthermore, *designing new work which is incompatible with the other buildings in the neighborhood in materials, size, scale, and texture* should be avoided. Using appropriate materials, textures and colors, the proposed renovations will be consistent with the surrounding neighborhood. According to the applicant, "Windows, Doors, Roof Tile, Pavers and Trim to be used will be similar to other Homes in the area."

FINDING: Consistent

CRITERION: WORKMANSHIP

ANALYSIS: Design Guidelines for Historic Properties and Districts state *new construction should not create a false sense of historical development through the use of conjectural features or stylistic elements drawn from other buildings.* As stated by the applicant, "Even though the design and materials to be used are similar to other Homes in the area, this Home is not a carbon copy."

FINDING: Consistent

CRITERION: ASSOCIATION

ANALYSIS: Design Guidelines for Historic Properties and Districts recommend avoiding incorporating elements which are incompatible with other buildings in the neighborhood in materials, size, scale, and texture. It is the applicant's intent to maximize the use of their property in order to build a home according to their needs while incorporating a design consistent with adjacent properties. Although additions and new construction are discouraged in copying historic styles, they should be designed to be compatible with other structures in the neighborhood in materials, size, scale, and texture. According to the applicant, "As the Street Profile reflects the window heights and sill are in line with the neighboring home."

FINDING: Consistent

VARIANCE

Waive the required front yard setback of 80 ft to allow 42 ft.

The following criteria are listed in the Zoning and Land Development Regulations Section 5.6 J (1) and are utilized in evaluating Variances:

CRITERIA 1: That the requested Variance maintains the basic intent and purpose of the subject regulations including the Historic District Regulations, Guidelines and Resolutions, particularly as it affects the stability and appearance of the City.

ANALYSIS: The purpose of required setbacks is to provide landscaping and safe distances not only between adjacent structures, but also structures and right-of-ways. Homes in the Lakes Area with lot lines adjacent to the lake are required to provide an 80 foot front setback. The existing front yard setback is approximately 40 ft (west) and the applicant is requesting a Variance to allow approximately 42 ft. The applicant is proposing demolition of exterior walls which are currently non-conforming. Demolition would require the front wall to be rebuilt according to current Code. As the existing setback is 40 ft and the applicant is requesting 42 ft, the request is consistent with the intent of the Code and it will not encroach any further than what exists today.

FINDING: Consistent.

CRITERIA 2: That the requested Variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community.

ANALYSIS: The property is located in the Lakes Area Historic Multiple Resource Listing District. There are houses to the north of the subject property with similarly configured lots; many which sit forward of the eighty foot setback. The proposed renovations allow for an approximate 42 ft setback, which is greater than the existing 40 ft. This is similar to adjacent structures. All other setbacks at the sides and rear are maintained. The scale and massing is consistent with the surrounding neighborhood and does not impede the District's character. As stated by the consultant, "Allowing the applicant to maintain a 42-foot setback allows for the renovation of the existing structure on the site. The variance will not have any negative effect on the subject property or surrounding properties many of which have similar setbacks."

FINDING: Consistent.

CRITERIA 3: That the requested Variance is consistent with and in furtherance of the Goals, Objectives and Policies of the adopted Comprehensive Plan, as amended from time to time.

ANALYSIS: The City of Hollywood Comprehensive Plan states as a Goal in the Land Use Element, "Promote a distribution of land uses that will enhance residential communities while allowing land owners to maximize the use of their property." The owner is seeking a Variance for the front yard setback in order to demolish and rebuild exterior walls. The integrity of the existing property will not be compromised by maintaining these reduced setbacks as they have existed since

the original date of construction. The Variances are consistent with this criterion as it will allow the owner to maximize use of the property while maintaining the character of the existing residence by keeping similar setbacks of the existing home.

FINDING: Consistent.

CRITERIA 4: That the need for requested Variance is not economically based or self-imposed.

ANALYSIS: The request for the Variances is to waive the required front yard setback of 80 ft to allow the existing nonconforming setback of 40 ft to be increased to 42 ft with the new structure. The Variance will allow for exterior walls to be demolished and rebuilt. The purpose of required setbacks is to provide landscaping and safe distances not only between adjacent structures, but also structures and right-of-ways. These setbacks will not be encroaching any further into the front yard and are similar to adjacent properties. Additionally, the lot is 175 ft long which is smaller than those typically found adjacent to the lake. The required front yard setback would leave a limited area for construction when combined with the rear setback.

FINDING: Consistent.

CRITERIA 5: That the Variance is necessary to comply with State or Federal Law and is the minimum Variance necessary to comply with the applicable law.

FINDING: Not applicable.

RECOMMENDATION

Certificate of Appropriateness for Demolition

To be determined by Historic Preservation Board.

Variance

Approval.

Certificate of Appropriateness for Design

Staff finds that the request is consistent with all specified criteria and therefore recommends approval if Certificate of Appropriateness for Demolition and Variance are granted with the condition a Unity of Title, in a form acceptable to the City Attorney, be submitted prior to the issuance of permits and recorded in the Broward County Public Records prior to Certificate of Occupancy (C/O).

ATTACHMENTS

ATTACHMENT A: Application Package
ATTACHMENT B: Aerial Photograph

ATTACHMENT A
Application Package

OFFICE OF PLANNING

OFFICE OF PLANNING

GENERAL APPLICATION

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

2600 Hollywood Boulevard Room 315
Hollywood, FL 33022

File No. (to be filled by the Office of Planning): _____

GENERAL APPLICATION



Tel: (954) 921-3471
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at http://www.hollywoodfl.org/comm_planning/appforms.htm



APPLICATION TYPE (CHECK ONE):

- Development Review Board
- Planning and Zoning Board
- City Commission
- Historic Preservation Board
- Technical Advisory Committee

Date of Application: 5-23-2011

Location Address: 927 S. Southlake Drive
 Lot(s): 13 & 14 EXCEPT W. 30' Block(s): 59 Subdivision: HOLLYWOOD LAKES SECTION
 Folio Number(s): 514214021800
 Zoning Classification: RS 9 Land Use Classification: SINGLE FAMILY
 Existing Property Use: SINGLE FAMILY Sq Ft/Number of Units: 4026 sq. ft.
 Is the request the result of a violation notice? () Yes (X) No If yes, attach a copy of violation.
 Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): _____

- Economic Roundtable
- Planning and Zoning Board
- Historic Preservation Board
- City Commission
- Technical Advisory Committee
- Development Review Board

Explanation of Request: RENOVATION AND ADDITION TO PROPERTY

Number of units/rooms: 5 ROOMS 6 1/2 BATHS Sq Ft: 6859 SF A/C 2388 SF NON A/C
 Value of Improvement: 850,000 Estimated Date of Completion: 2013
 Will Project be Phased? () Yes (X) No If Phased, Estimated Completion of Each Phase _____

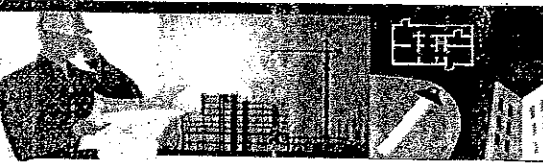
Name of Current Property Owner: Dr Peter A. Tomaseillo Jr
 Address of Property Owner: 922 S. Southlake Drive, Hollywood, FL 33019
 Telephone: 305 984 7363 Fax: 954 454 1711 Email Address: bonedoc63@gmail.com

Name of Consultant/Representative/Tenant (circle one): FRANK QUARELLO
 Address: 15098 S.W. 13 PL. Telephone: 954-605-3181
 Fax: _____ Email Address: QUARELLOF@BELLSOUTH.NET

Date of Purchase: 1997 Is there an option to purchase the Property? Yes () No ()
 If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: _____

Address: _____
 Email Address: _____



CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at www.hollywoodfl.org. The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

I(We) certify that I(we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. I(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. I(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: Dr Peter A. Tomaseillo Jr Date: 5-23-2011

PRINT NAME: Dr Peter A. Tomaseillo Jr Date: 5-23-2011

Signature of Consultant/Representative: Frank Quarello Date: 5-23-2011

PRINT NAME: FRANK QUARELLO Date: 5-23-2011

Signature of Tenant: Dr Peter A. Tomaseillo Jr Date: 5-23-2011

PRINT NAME: Dr Peter A. Tomaseillo Jr Date: 5-23-2011

CURRENT OWNER POWER OF ATTORNEY

I am the current owner of the described real property and that I am aware of the nature and effect the request for (project description) REMODEL to my property, which is hereby made by me or I am hereby authorizing (name of the representative) FRANK QUARELLO to be my legal representative before the HISTORIC (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me this 27th day of June, 2011

W. J. Patrice
Notary Public State of Florida

Dr Peter A. Tomaseillo Jr
SIGNATURE OF CURRENT OWNER

Dr Peter A. Tomaseillo Jr
PRINT NAME

My Commission Expires: July 25, 2012 (Check One) Personally known to me; OR _____



CRITERIA STATEMENT VARIANCE 922 S. SOUTHLAKE DRIVE

The subject property is located at 922 S. Southlake Drive. The house is oriented west to east with the rear of the structure facing South Lake. The applicant is seeking a setback variance to reduce the front setback to 42 feet where 80 feet is required.

When the original Hollywood Lakes Section was platted there was a 50 foot right of way that was located on the perimeter of both North and South Lakes. When the original zoning for the lots that fronted on the lakes was created the lakes were considered to be the front of the lots and an 80 foot setback from the lake was required. Included in this setback was the platted road that ran parallel to the Lake.

At some point in time the City decided to abandon the lakefront roads along the 'keyholes' of the lakes. The remnants of the original right of way continue to exist today east of 9th Avenue as N. Northlake Drive, S. Northlake Drive, N. Southlake Drive and S. Southlake Drive. Many of these houses have private docks on the lake side of the road.

For whatever reasons the front setback of 80 feet was kept in the Zoning & Development Regulations even after the right of way was abandoned. Over the years the orientation of the lots along the lakes changed so that lots west of 9th Avenue are now considered to front on N. Northlake Drive, S. Northlake Drive, N. Southlake Drive and S. Southlake Drive. Almost all the houses that were built on these lots do not meet the 80-foot front setback requirement. The 80-foot front setback is an anachronism that should have been adjusted years ago to reflect the changed orientation of the streets in the Lakes area.

The applicant is renovating and expanding the existing structure at 922 S. Southlake Drive. As part of the renovation the existing front wall of the structure (which is 40 feet from the property line) will be demolished and replaced with a wall that is 42 feet from the property line. This new wall will not meet the 80-foot front setback requirement.

The applicant believes that the proposed wall with a 42-foot setback meets the variance criteria as follows.

Criteria A. That the requested variance maintains the basic intent and purpose of the subject regulations particularly as it affects the stability and appearance of the city.

The applicant is renovating and improving an existing structure in the Lakes area. As pointed out earlier many of the structures that are west of 9th Avenue and front on the North and South Lakes do not have the required 80-foot setback. The enforcement of the 80-foot setback will negatively affect the scale and massing of the structure as well as make it incompatible with other structures in the area that have shorter setbacks.

CRITERIA STATEMENT VARIANCE 922 S. SOUTHLAKE DRIVE PAGE TWO

Criteria B. That the requested variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community.

Allowing the applicant to maintain a 42-foot setback allows for the renovation of the existing structure on the site. The variance will not have any negative effects on the subject property or surrounding properties many of which have similar setbacks. Granting the variance has no negative effects on the community because the 80-foot front setback has not been enforced.

Criteria C. That the requested variance is consistent with and in furtherance of the Goals Objectives and Policies of the adopted Comprehensive Plan as amended from time to time.

The goals policies and objectives of the comprehensive plan express the desire of the City of Hollywood to improve and maintain the existing residential neighborhoods of the City.

Granting of the requested variance will allow the renovation, expansion and improvement of an existing structure in the Lakes area. The structure is architecturally compatible with the other structures in the area will have similar mass and scaling to surrounding structures if the variance is granted.

Criteria D. That the need for requested variance is not economically based or self imposed.

The requested variance is not self-imposed nor is it economically motivated. The existing wall is not properly located to support the proposed renovations.

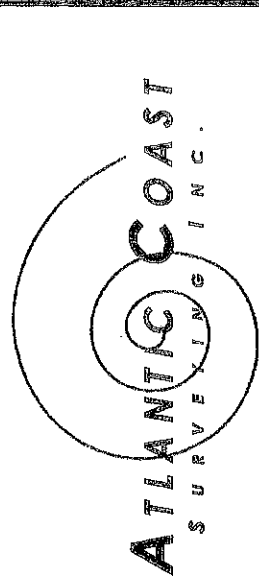
Criteria E. That the variance is necessary to comply with State or Federal Law and is the minimum variance necessary to comply with the applicable law.

Not applicable.

The applicant believes that the requested variance is not contrary to the Zoning and Development Regulations that it will have no negative impacts on the subject property, surrounding properties or the community as a whole and that the final product will be architecturally compatible with the properties around it. The applicant asks that the variance be approved as requested.

REPORT FOR BOUNDARY SURVEY

SHEET 1 OF 2



LEGAL DESCRIPTION
(A PORTION OF LOT 13 & 14, A PORTION OF BLOCK 77, AND A PORTION OF
ABANDONED 13TH AVENUE)

LOTS 13 AND 14, EXCEPT THE WEST 30 FEET THEREOF, IN BLOCK 59, "HOLLYWOOD
LAKES SECTION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1,
PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

AND

ALL THAT PARCEL OF LAND DESCRIBED AND BOUNDED AS FOLLOWS, BEING A PART
OF 13TH AVENUE (NOW SOUTH 9TH AVENUE) AND A PART OF BLOCK 77 (SOMETIMES
KNOW AS A PARKWAY AROUND SOUTH LAKE), ACCORDING TO THE PLAT OF
"HOLLYWOOD LAKES SECTION", RECORDED IN PLAT BOOK 1, PAGE 32, OF THE
PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA;

BEGINNING AT A POINT WHERE THE LINE BETWEEN BLOCK 76 AND 77 IS
INTERSECTED BY A PROJECTION IN AN EASTERLY DIRECTION OF THE NORTHERLY LINE
OF LOT 14 IN BLOCK 59 OF SAID "HOLLYWOOD LAKES SECTION";

THENCE FROM SAID POINT OF BEGINNING SOUTHERLY ALONG SAID
BOUNDARY LINE BETWEEN BLOCKS 76 AND 77 TO A POINT WHERE THE SAME IS
INTERSECTED BY THE PROJECTION IN AN EASTERLY DIRECTION OF THE SOUTH LINE
OF LOT 13 IN BLOCK 59, OF SAID "HOLLYWOOD LAKES SECTION";

THENCE WESTERLY ALONG SAID PROJECTION OF THE SOUTH LINE OF SAID LOT 13 IN
BLOCK 59, OF "HOLLYWOOD LAKES SECTION" TO THE POINT WHERE THE SAME
INTERSECTS THE DIVIDING LINE BETWEEN THE WESTERLY SIDE OF SOUTH 13TH
AVENUE (NOW ABANDONED) AND THE EASTERLY SIDE OF SAID LOT 13 IN BLOCK 59,
OF SAID "HOLLYWOOD LAKES SECTION";

THENCE NORTHERLY ALONG SAID DIVIDING LINE BETWEEN THE WESTERLY SIDE OF
SAID 13TH AVENUE AND THE EASTERLY SIDE OF LOTS 13 AND 14 IN BLOCK 59 OF
SAID "HOLLYWOOD LAKES SECTION", TO THE POINT WHERE SAID DIVIDING LINE IS
INTERSECTED BY THE PROJECTION IN AN EASTERLY DIRECTION OF THE NORTH LINE
OF SAID LOT 14, IN BLOCK 59, OF SAID "HOLLYWOOD LAKES SECTION";

THENCE EASTERLY ALONG SAID PROJECTION OF THE NORTH LINE OF SAID LOT 14, IN
BLOCK 59, OF SAID "HOLLYWOOD LAKES SECTION", TO THE POINT OF BEGINNING.

	FIRE HYDRANT		MANHOLE
	CABLE JUNCTION BOX		WATER VALVE
	POWER/LIGHT POLE		CONTROL VALVE
	WATER METER		CLEAN OUT
	FR&L/SBT PAD		CATCH BASIN
	CENTERLINE		CONCRETE BLOCK WALL
	WOOD FENCE		OVERHEAD WIRES
	METAL FENCE		EASEMENT LINE
	BRICK PAVERS		GUY ANCHOR
	CONC. CHAT.		DENOTES ELEVATION

CERTIFIED TO:
PETER TOMASELLO, JR

PROPERTY ADDRESS
922 S. SOUTH LAKE DRIVE
HOLLYWOOD, FL 33019

BOUNDARY SURVEY
JOB # 35589
SURVEY DATE 06/22/11

FLOOD ZONE AE--8.0'
MAP DATE 07/21/95
MAP NUMBER 125113 0317G

NOTES

1. BASIS OF BEARINGS AS INDICATED ON SKETCH.
2. LEGAL DESCRIPTION PROVIDED BY CLIENT.
3. THE LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS OFFICE FOR EASEMENTS, RIGHT-OF-WAYS, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD.
4. UNDERGROUND OR INTERIOR PORTIONS OF FOOTINGS, FOUNDATIONS, WALLS OR OTHER NON-VISIBLE IMPROVEMENTS WERE NOT LOCATED.
5. ELEVATIONS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 UNLESS OTHERWISE SHOWN.
6. FENCE TIES ARE TO THE CENTER-LINE OF FENCE. WALL TIES ARE TO THE FACE OF WALL.
7. IN SOME INSTANCES GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE THE RELATIONSHIP BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. IN ALL CASES DIMENSIONS SHALL CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.
8. THE DIMENSIONS AND DIRECTIONS SHOWN HEREON ARE IN SUBSTANTIAL AGREEMENT WITH RECORD VALUES UNLESS OTHERWISE NOTED.
9. PARTY WALLS ARE CENTERED ON PROPERTY LINE AND ARE 0.7' WIDE UNLESS OTHERWISE NOTED.
10. EXISTING CORNERS FOUND OFF WITNESS PROPERTY CORNERS
11. OBSTRUCTED CORNERS ARE WITNESSED BY IMPROVEMENTS.
12. NO ATTEMPT WAS MADE TO LOCATE WRITTEN OR UNWRITTEN EASEMENTS OR RIGHTS-OF-WAY, OTHER THAN THOSE SHOWN HEREON.

ABBREVIATIONS

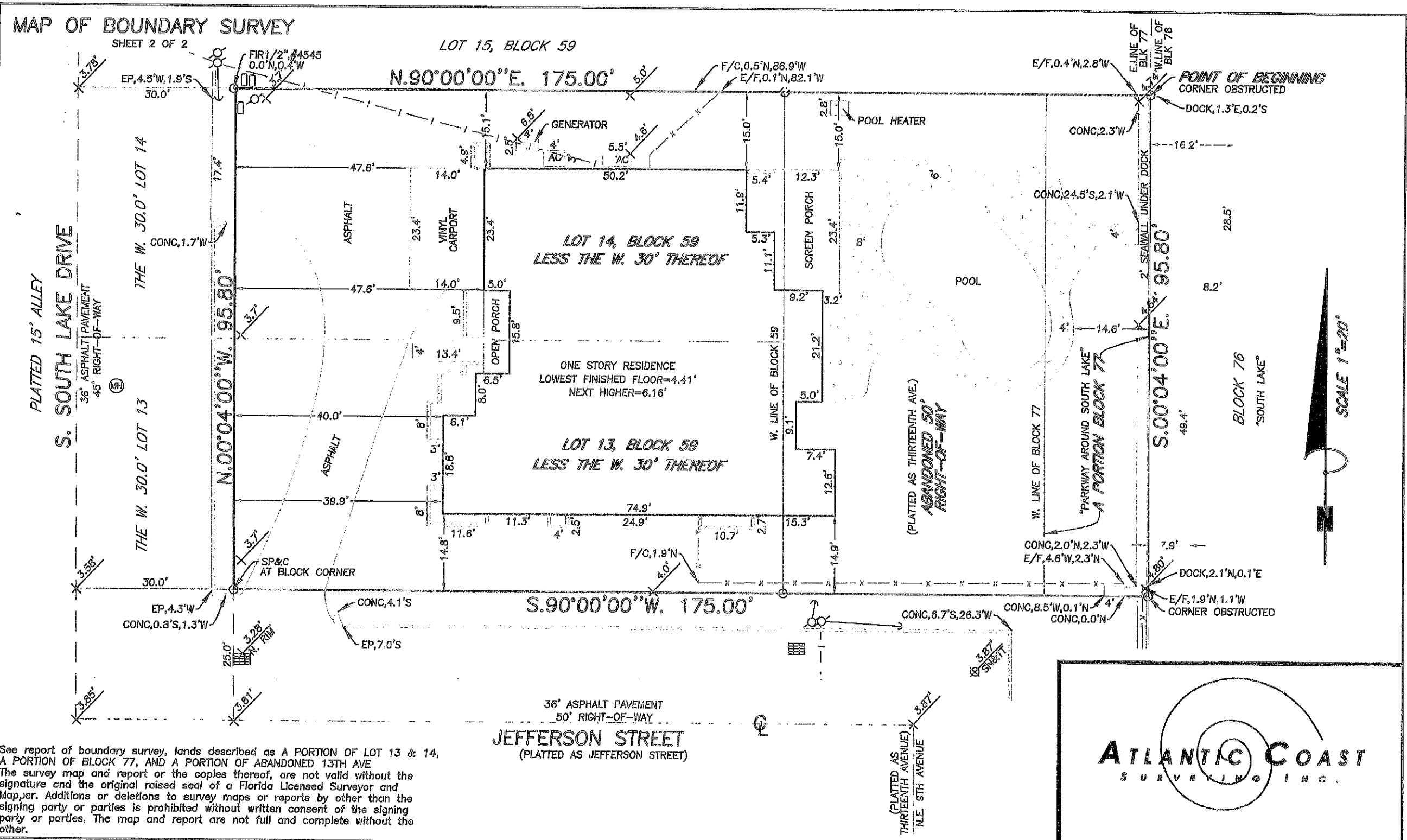
PRM	DENOTES PERMANENT REFERENCE MONUMENT
FN&D	DENOTES FOUND NAIL & DISC
FIR	DENOTES FOUND IRON ROD
FIP	DENOTES FOUND IRON PIPE
N.T.S.	DENOTES NOT TO SCALE
F/C	DENOTES FENCE CORNER
F/L	DENOTES FENCE LINE
E/F	DENOTES END OF FENCE
Ep	DENOTES EDGE OF PAVEMENT
BW	DENOTES BACK OF WALK
FN&D	DENOTES FOUND NAIL AND DISC
BC	DENOTES BUILDING CORNER
POC	DENOTES POINT OF COMMENCEMENT
POB	DENOTES POINT OF BEGINNING
PRC	DENOTES POINT OF REVERSE CURVE
FR&L	DENOTES FLORIDA POWER AND LIGHT COMPANY
ORB	DENOTES OFFICIAL RECORDS BOOK
PG	DENOTES PAGE
SP&C	DENOTES SET 1/2" PIN & CAP # 5495
SN&D	DENOTES SET NAIL & DISC # 5495

See map of boundary survey, lands described as A PORTION OF LOT 13 & 14,
A PORTION OF BLOCK 77 AND A PORTION OF ABANDONED 13TH AVENUE.
The survey map and report or the copies thereof, are not valid without the
signature and the original raised seal of a Florida Licensed Surveyor and
Mapper. Additions or deletions to survey maps or reports by other than the
signing party or parties is prohibited without written consent of the signing
party or parties. The map and report are not full and complete without the
other.

Paul J. Stowell
PAUL J. STOWELL

PROFESSIONAL LAND SURVEYOR FLORIDA CERTIFICATION NO. 6241
6129 STIRLING RD SUITE 2 DAVE FLORIDA 33314
P-954-587-2100 F-954-587-5418

© 2009 ATLANTIC COAST SURVEYING INC.



See report of boundary survey, lands described as A PORTION OF LOT 13 & 14, A PORTION OF BLOCK 77, AND A PORTION OF ABANDONED 13TH AVE. The survey map and report or the copies thereof, are not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party or parties. The map and report are not full and complete without the other.

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expires March 31, 2012

Important: Read the instructions on pages 1-9.

SECTION A - PROPERTY INFORMATION

A1. Building Owner's Name PETER TOMASELLO, JR	For Insurance Company Use: Policy Number
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 922 S SOUTHLAKE DRIVE	Company NAIC Number
City HOLLYWOOD State FL ZIP Code 33019	

A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)
A PORTION OF LOTS 13 & 14, A PORTION OF BLOCK 77 & A PORTION OF 13TH AVE, PB 1, PG 32, BCR

A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) RESIDENTIAL
A5. Latitude/Longitude: Lat. 26.006703 Long. 80.12302 Horizontal Datum: NAD 1927 NAD 1983

A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.
A7. Building Diagram Number 8

A8. For a building with a crawlspace or enclosure(s): a) Square footage of crawlspace or enclosure(s) <u>3510</u> sq ft b) No. of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>17</u> c) Total net area of flood openings in A8.b <u>1430</u> sq in d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	A9. For a building with an attached garage: a) Square footage of attached garage <u>NA</u> sq ft b) No. of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>NA</u> c) Total net area of flood openings in A9.b <u>NA</u> sq in d) Engineered flood openings? <input type="checkbox"/> Yes <input type="checkbox"/> No
---	--

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number HOLLYWOOD 125113	B2. County Name BROWARD	B3. State FLORIDA			
B4. Map/Panel Number 12011C 0317	B5. Suffix G	B6. FIRM Index Date 10-02-97	B7. FIRM Panel Effective/Revised Date 08-18-92	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) 8.0'

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9.
 FIS Profile FIRM Community Determined Other (Describe) _____

B11. Indicate elevation datum used for BFE in Item B9: NGVD 1929 NAVD 1988 Other (Describe) _____

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? Yes No
Designation Date _____ CBRS OPA

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. Use the same datum as the BFE.
Benchmark Utilized CITY OF HOLLYWOOD BM Vertical Datum NGVD 29
Conversion/Comments NA

Check the measurement used.

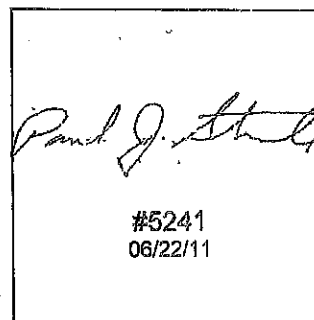
a) Top of bottom floor (including basement, crawlspace, or enclosure floor)	<u>4.3</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
b) Top of the next higher floor	<u>6.16</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
c) Bottom of the lowest horizontal structural member (V Zones only)	<u>NA</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
d) Attached garage (top of slab)	<u>4.41</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)	<u>4.6</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
f) Lowest adjacent (finished) grade next to building (LAG)	<u>4.0</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
g) Highest adjacent (finished) grade next to building (HAG)	<u>4.3</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support	<u>NA</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form. Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No

Certifier's Name PAUL J. STOWELL License Number 5241
Title PROFESSIONAL SURVEYOR Company Name ATLANTIC COAST SURVEYING INC
Address 6129 STIRLING ROAD SUITE 2 City DAVIE State FL ZIP Code 33314
Signature Paul J. Stowell Date 06/22/11 Telephone 954-587-2100



IMPORTANT: In these spaces, copy the corresponding information from Section A.	For Insurance Company Use:
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 922 S SOUTHLAKE DRIVE	Policy Number
City HOLLYWOOD State FL ZIP Code 33019	Company NAIC Number

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.
Comments JOB# 35589 Machinery is A/C in section C2E. Flood determination is based solely on F.I.R.M. provided by F.E.M.A. No research was done in regards to L.O.M.R./L.O.M.A documents. We do not accept responsibility for insurance premiums based on Elevation Certificates.

Signature Paul J. Stowell Date 06/22/11 Check here if attachments

SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the HAG.
b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the LAG.

E2. For Building Diagrams 6-9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 8-9 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.

E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.

E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.

E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner's or Owner's Authorized Representative's Name _____
Address _____ City _____ State _____ ZIP Code _____
Signature _____ Date _____ Telephone _____
Comments _____

Check here if attachments

SECTION G - COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8 and G9.

G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)

G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.

G3. The following information (Items G4-G9) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate Of Compliance/Occupancy Issued
-------------------	------------------------	---

G7. This permit has been issued for: New Construction Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters (PR) Datum _____

G9. BFE or (in Zone AO) depth of flooding at the building site: _____ feet meters (PR) Datum _____

G10. Community's design flood elevation _____ feet meters (PR) Datum _____

Local Official's Name _____ Title _____
Community Name _____ Telephone _____
Signature _____ Date _____
Comments _____

Check here if attachments

Building Photographs

See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 922 S SOUTHLAKE DRIVE	For Insurance Company Use:
	Policy Number
City HOLLYWOOD State FL ZIP Code 33019	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least two building photographs below according to the instructions for item A6. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." If submitting more photographs than will fit on this page, use the Continuation Page on the reverse.



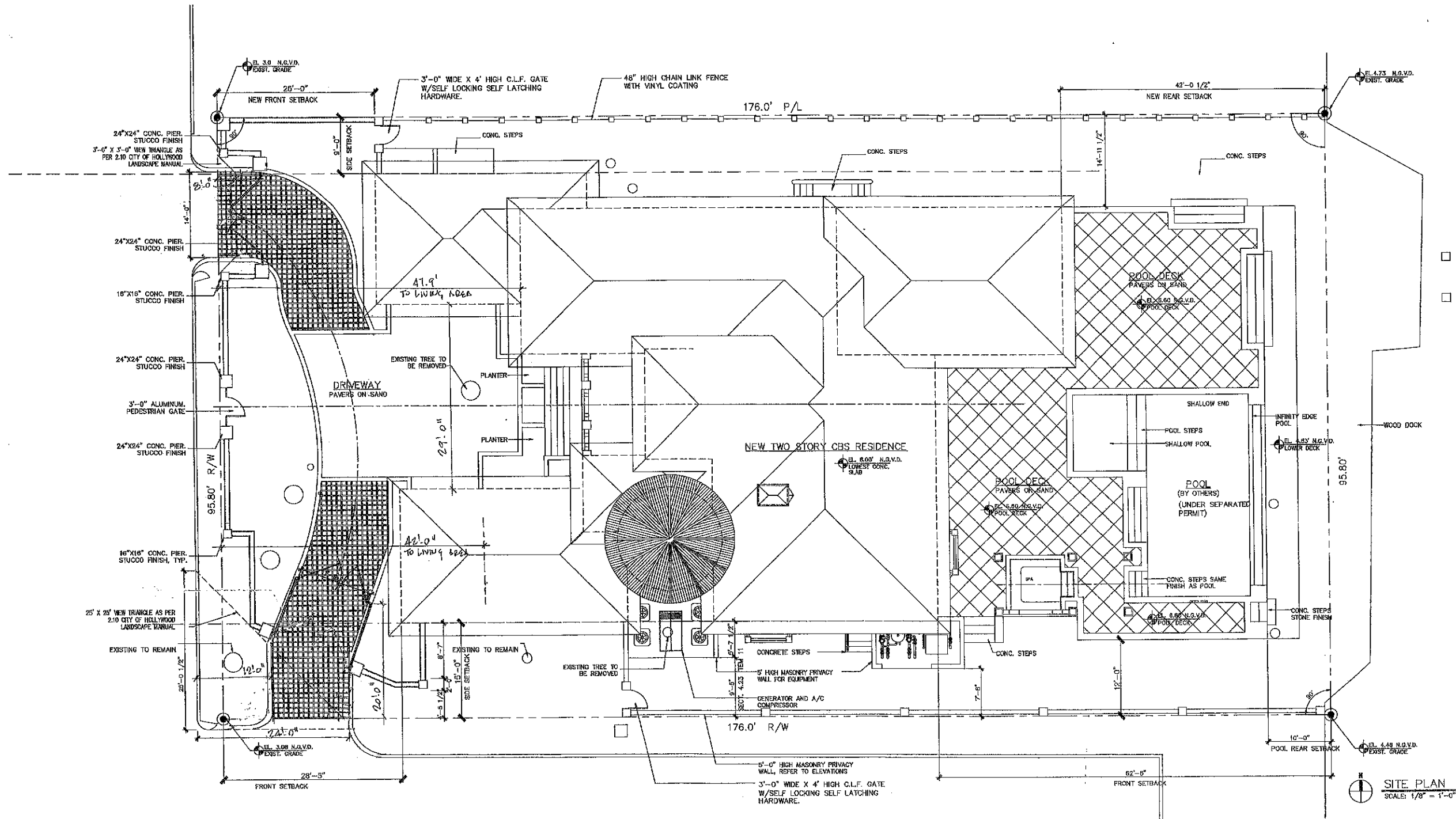
Building Photographs

Continuation Page

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 922 S SOUTHLAKE DRIVE	For Insurance Company Use:
	Policy Number
City HOLLYWOOD State FL ZIP Code 33019	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View."





SITE PLAN
SCALE: 1/8" = 1'-0"

FLOOD LEGEND

Residential New Construction
Address: 922 SOUTHLAKE DR, HOLLYWOOD, FL

LOT 16 Block 52 Plat Book 8 PAGE 118

HIGHEST CROWN OF ROAD ELEV. 4.80' FT. N.O.V.D. HIGHEST CROWN OF ROAD ELEVATION WAS TAKEN FROM THE ATTACHED CERTIFIED SURVEY, OR A CERTIFIED SURVEY PREPARED BY: LEVEL TECH SURVEYORS, LLC PLS LIC# LB 7184

FLOOD ZONE: AE

PROVIDED	LOWEST FLOOR ELEVATION	GARAGE/STORAGE FLOOR ELEVATION	LOWEST LOT ELEVATION	MINIMUM SWALE AREA ELEVATION
	+ 8.0 FT. N.O.V.D.	+ 8.07 FT. N.O.V.D.		

ALL ELECTRICAL MECHANICAL AND PLUMBING WILL BE PLACED AT OR ABOVE THE BASE FLOOD ELEVATION. (B.F.E.)

ALL AREAS BELOW B.F.E. SHALL BE PROVIDED WITH A MINIMUM OF TWO (2) OPENINGS HAVING A TOTAL NET AREA OF NO LESS THAN ONE SQUARE INCH OF OPENING FOR EVERY SQUARE FOOT OF ENCLOSED AREA SUBJECT TO FLOODING THE BOTTOM OF THE OPENING WILL BE NO HIGHER THAN ONE (1) FOOT ABOVE GRADE AND LOCATED ON DIFFERENT SIDES OF THE ENCLOSED AREA OPENINGS WILL BE EQUIPPED WITH SCREENS OR LOUVERS FLOOD RESISTANT MATERIALS WILL BE USED BELOW B.F.E.

ALTERNATIVELY, A CERTIFICATION BY P.E. ON THE PLAN NOTES INDICATING THAT THE DESIGN WILL ALLOWED FOR THE AUTOMATIC EQUALIZATION OF HYDROSTATIC FLOOD FORCES ON EXTERIOR WALLS.

THE SITE WILL BE GRADED IN MANNER TO PREVENT THE FLOODING OF ADJACENT PROPERTIES WHERE NECESSARY INTERCEPTOR SWALES WILL BE CONSTRUCTED ON-SITE WITH NO ENCROACHMENT OVER ADJACENT PROPERTIES.

COMPLY WITH ORDINANCE #3028 (FLOOD DAMAGE PREVENTION) CHAPTER 6A

LEGAL DESCRIPTION

LOT 15 LESS THE WEST 30.00 FEET AND LOT 14 LESS THE WEST 30.00 FEET, BLOCK 59, OF HOLLYWOOD LAKES SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, AT PAGE 32, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND THAT TRIP OF LAND LYING BETWEEN SAID LOTS 13 & 14, AND THE LAKE.

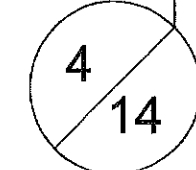
THE PUBLIC RECORDS OF BROWARD COUNTY			
PROPERTY ADDRESS 922 S. SOUTHLAKE DR. HOLLYWOOD, FL.			
1. ZONING	R9-9		
2. LAND USE DESIGNATION	LOW RES.		
3. NET LOT AREA	16,857 S.F. (.39 ACRES)		
4. SETBACKS	REQUIRED: FRONT 25', INTERIOR SIDE 15', SIDE /STREET 15', REAR 42'-0 1/2'	PROVIDED: FRONT 25', INTERIOR SIDE 15', SIDE /STREET 25', REAR 42'-0 1/2'	COMMENTS
5. BUILDING HEIGHT	30'	30'	TO THE POINT OF ROOF
6. BUILDING AREAS (NEW):			
A/C SPACE	FIRST FLOOR A/C SECOND FLOOR A/C/ TOTAL A/C SPACE	3,629 S.F. 3,230 S.F. 6,859 S.F.	
NN A/C SPACE	GARAGE 1 GARAGE 2 SERVICE LOGGIA COVERED ENTRY FAMILY ROOM PATIO LIVING ROOM PATIO MASTER BEDROOM BALCONY BEDROOM #2 CANT. BALCONY	575 S.F. 296 S.F. 83 S.F. 157 S.F. 428 S.F. 303 S.F. 212 S.F.	
	TOTAL NEW A/C SPACE	2,388 S.F.	
	TOTAL AREA UNDER ROOF	9,247 S.F.	
7. BUILDING AREA (EXISTING):			
ONE STORY A/C	FLOOR AREA INCL. GARAGE PATIO	4,046 S.F. 387 S.F.	

8. GREEN AREA:	TOTAL EXISTING		4,403 S.F.
	REQUIRED	PROVIDED	
FRONT YARD	479 S.F.	1,084 S.F.	22% OF REQUIRED FRONT YARD
IMPERVIOUS AREA			
	FIRST FLOOR A/C	3,629 S.F.	
	GARAGE 1	575 S.F.	
	GARAGE 2	296 S.F.	
	SERVICE LOGGIA	83 S.F.	
	FRONT ENTRY	157 S.F.	
	FAMILY ROOM PATIO	428 S.F.	
	LIVING ROOM PATIO	303 S.F.	
	TOTAL HOUSE FOOTPRINT	5,479 S.F.	
	POOL DECK	2,380 S.F.	
	POOL	896 S.F.	
	NORTH STEPS BY KITCHEN	58 S.F.	
	NORTH SLAB BY GARAGE	76 S.F.	
	POOL EQUIPMENT	128 S.F.	
	GENERATOR SLAB	189 S.F.	
	FRONT STEPS BY PLANTER	166 S.F.	
	DRIVEWAY	974 S.F.	
	TOTAL EXTERIOR AREAS	4,960 S.F.	
	TOTAL IMPERVIOUS	10,065 S.F.	
PERVIOUS AREA	(16,861 - 11,376)	5,485 S.F.	40%

Miguel de Diego
A R C H I T E C T P.A.
AA-26601641

1657 TYLER STREET SUITE 105 HOLLYWOOD, FLORIDA 33020
PH: (954) 926-3338 FAX (954) 926-2021

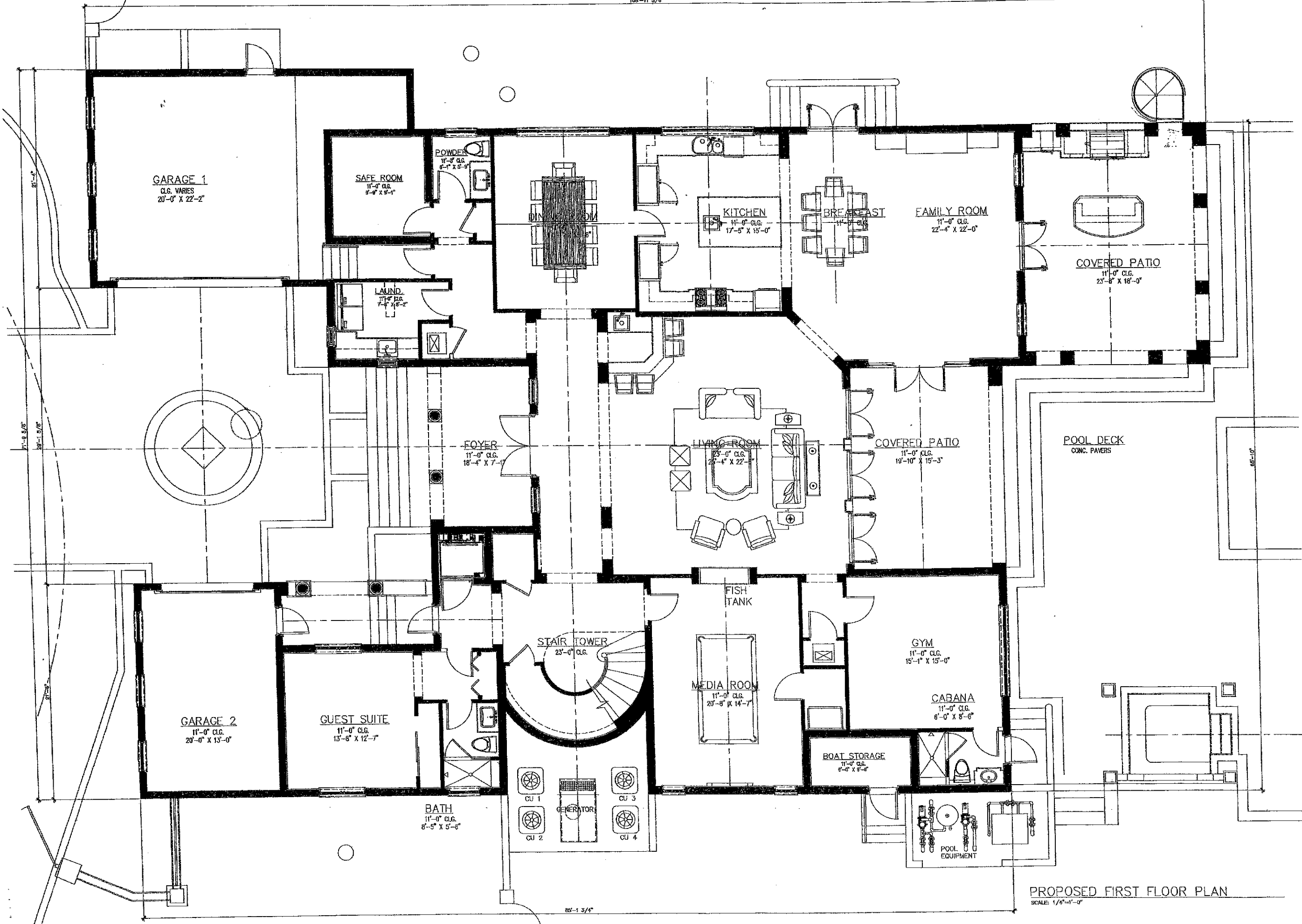
CHECKED
DRAWN
DATE 6-12-2011
COMM. NO. 11-158



ALL DESIGN, DRAWINGS, REPORTS, DATA, NOTES AND ANY OTHER DOCUMENTS PREPARED BY THE ARCHITECT AS EMPLOYED BY THE ARCHITECT ARE THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED, COPIED OR USED FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. ANY REUSE OF ANY OF THE ABOVE INFORMATION WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT IS STRICTLY PROHIBITED AND IS A VIOLATION OF THE ARCHITECT'S PROFESSIONAL ETHICS AND MAY BE SUBJECT TO LEGAL ACTION.

NO.	DATE	REVISION

RESIDENCE FOR:
MR. PETER TOMASELLO
922 S. SOUTHLAKE DRIVE
HOLLYWOOD, FLORIDA
CONTACT: MR. PETER TOMASELLO (305) 984-2363



NO.	DATE	REVISION

RESIDENCE FOR:
 MR. PETER TOMASELLO
 922 S. SOUTHLAKE DRIVE
 HOLLYWOOD, FLORIDA
 CONTACT: MR. PETER TOMASELLO (305) 964-2863

Miguel de Diego
 ARCHITECT P.A.
 AA-26001641
 1657 TYLER STREET SUITE 105 HOLLYWOOD, FLORIDA 33020
 PH. (954) 926-5358 FAX (954) 926-2021

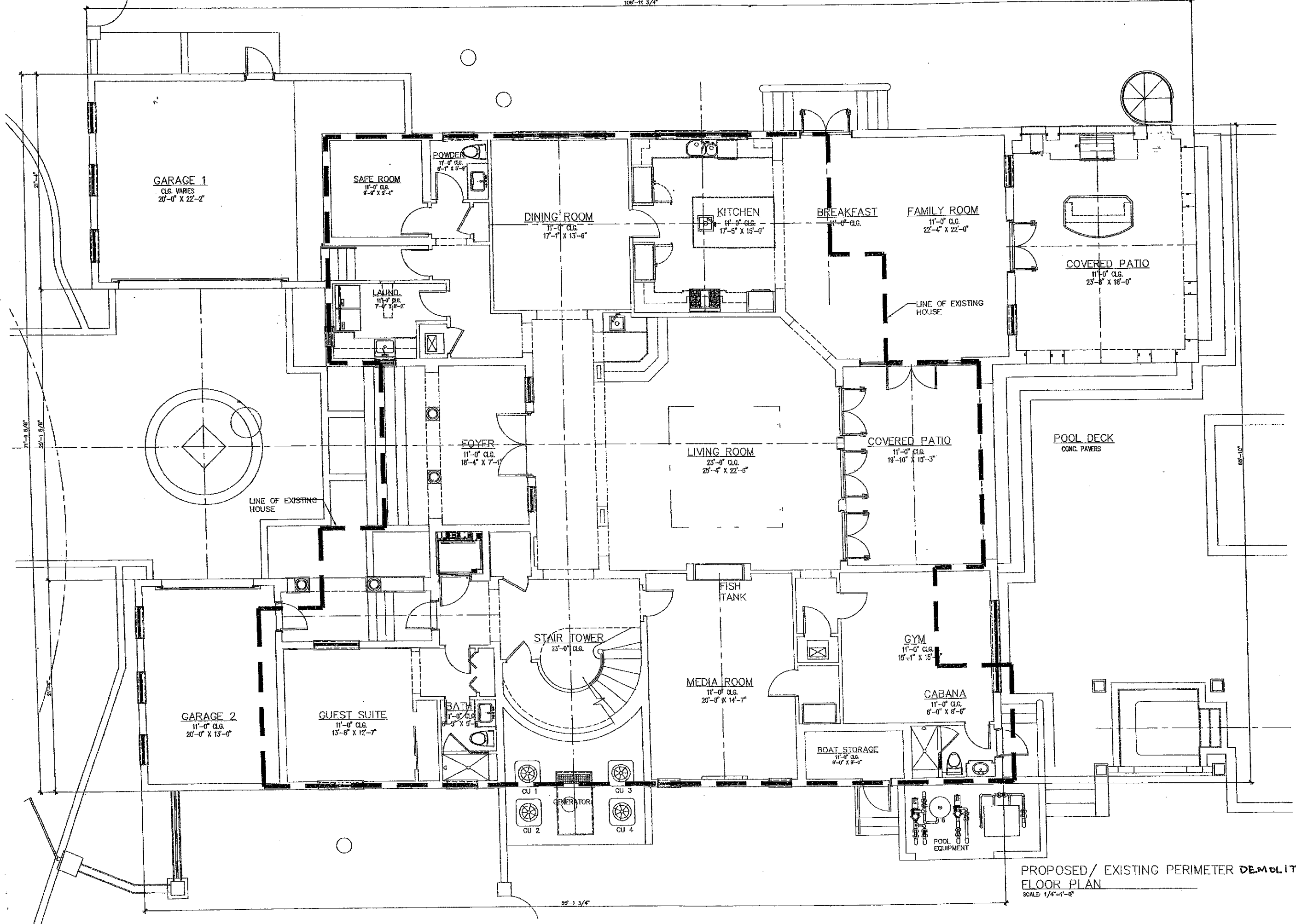
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 DRAWN
 DATE 6-12-2011
 COMM. NO. 11-158

5 / 14

PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0"

CONTRACTOR SHALL VERIFY ALL DIMENSIONS, NOTES AND CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK.

ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE IN FEET AND INCHES. DIMENSIONS SHALL BE TAKEN TO THE CENTERLINE OF WALLS AND PARTITIONS UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK.



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NO.	DATE	REVISION

RESIDENCE FOR:
 MR. PETER TOMASELLO
 922 S. SOUTHLAKE DRIVE
 HOLLYWOOD, FLORIDA
 CONTACT: MR. PETER TOMASELLO (305) 984-2363

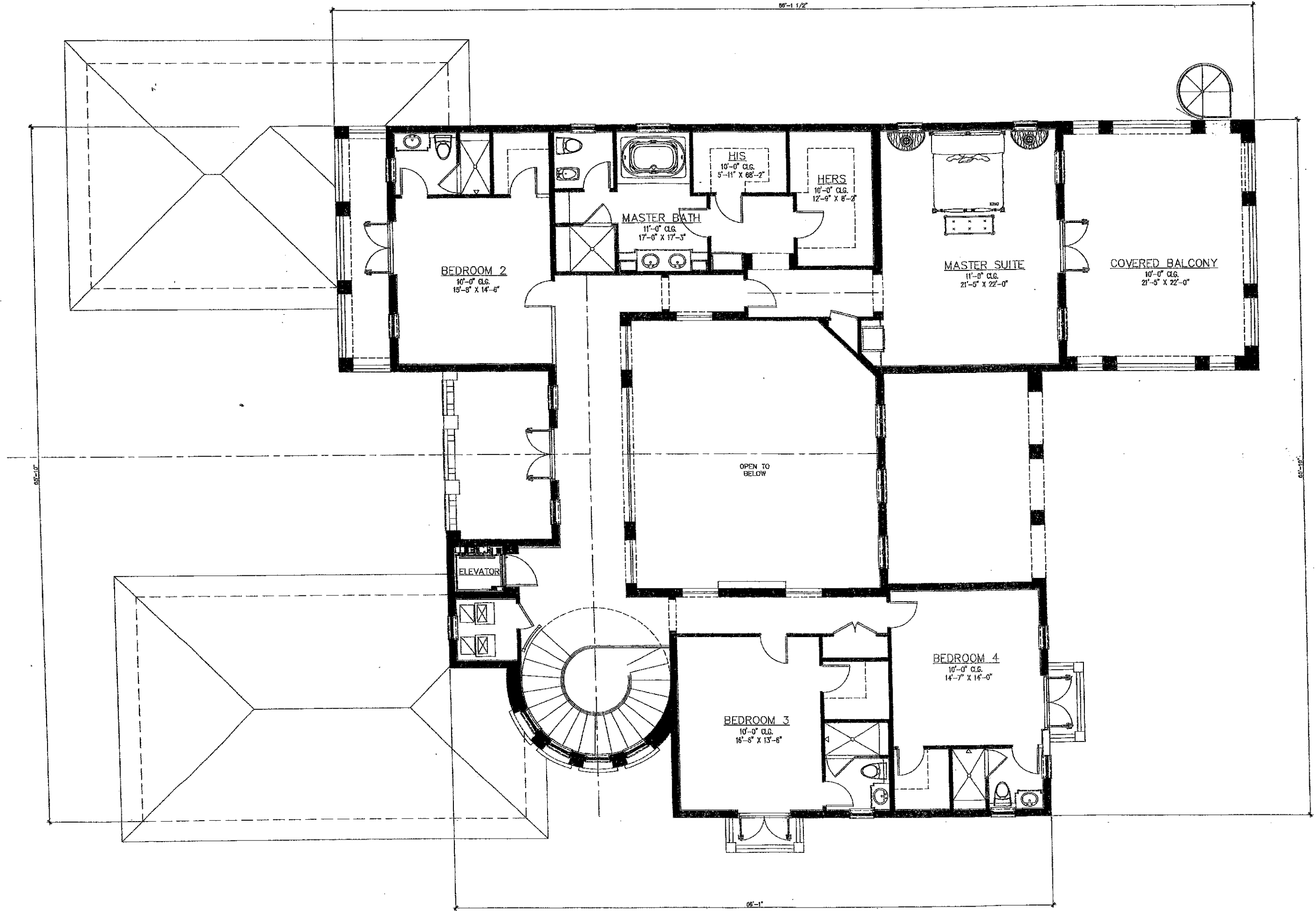
Miguel de Diego
 ARCHITECT P.A.
 AA-26001641
 1657 TYLER STREET SUITE 105 HOLLYWOOD, FLORIDA 33020
 PH. (954) 926-3358 FAX (954) 926-2021

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 DRAWN
 DATE 6-12-2011
 COMB. NO. 11-158

6
 14

PROPOSED/ EXISTING PERIMETER DEMOLITION FLOOR PLAN
 SCALE: 1/4"=1'-0"

CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, NOTES AND CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK.



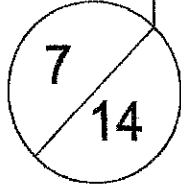
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NO.	DATE	REVISION

RESIDENCE FOR:
MR. PETER TOMASELLO
 922 S. SOUTHLAKE DRIVE
 HOLLYWOOD, FLORIDA
CONTACT: MR. PETER TOMASELLO (905) 984-2363

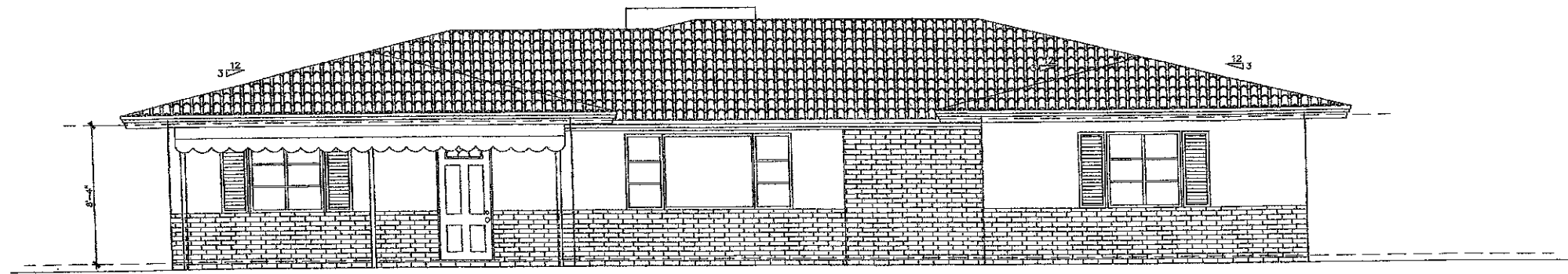
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ARCHITECT P.A.
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 DRAWN _____
 DATE 6-12-2011
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PROPOSED FRONT ELEVATION (WEST)



EXISTING FRONT ELEVATION (WEST)

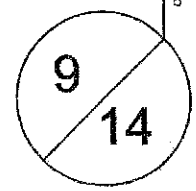
ALL DIMENSION, DRAWINGS, REPORTS, FIELD NOTES AND ANY OTHER DOCUMENTS PREPARED BY THE ARCHITECT, AS WELL AS THE CONTRACT, SHALL BE THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED, COPIED OR SPECIFICALLY REFERRED TO IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. CONTRACT AND OTHER ASSUMED PERMITS SHALL BE THE RESPONSIBILITY OF THE CLIENT.

NO.	DATE	REVISION

RESIDENCE FOR:
 MR. PETER TOMASELLO
 922 S. SOUTHLAKE DRIVE
 HOLLYWOOD, FLORIDA
 CONTACT: MR. PETER TOMASELLO (806) 984-2363

Miguel de Diego
 ARCHITECT P.A.
 AA-26601641
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COMM. NO.	11-158

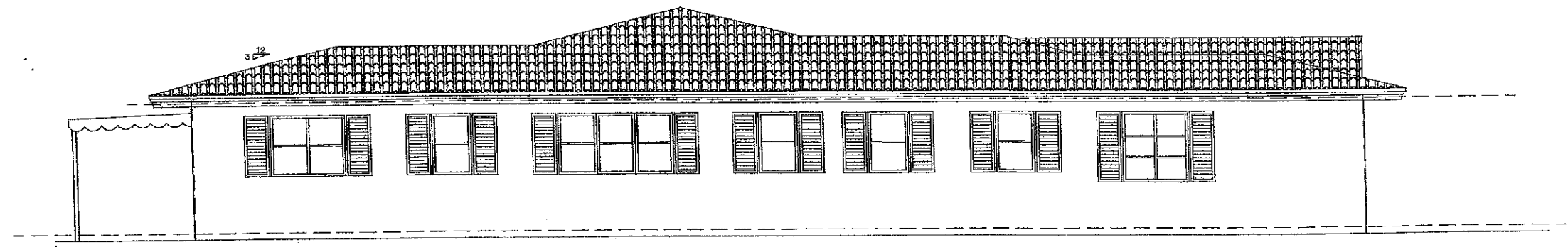


CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, NOTES AND CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK

ALL DIMENSIONS, DRAWINGS, SPECIFICATIONS, NOTES AND ANY OTHER DOCUMENTS PREPARED BY THE ARCHITECT AS PART OF THE CONTRACT SHALL BE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REPRODUCED, COPIED OR SUBSTITUTED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND SHALL MAINTAIN A RECORD OF ALL DIMENSIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH ANY WORK.



PROPOSED RIGHT SIDE ELEVATION (SOUTH)



EXISTING RIGHT SIDE ELEVATION (SOUTH)

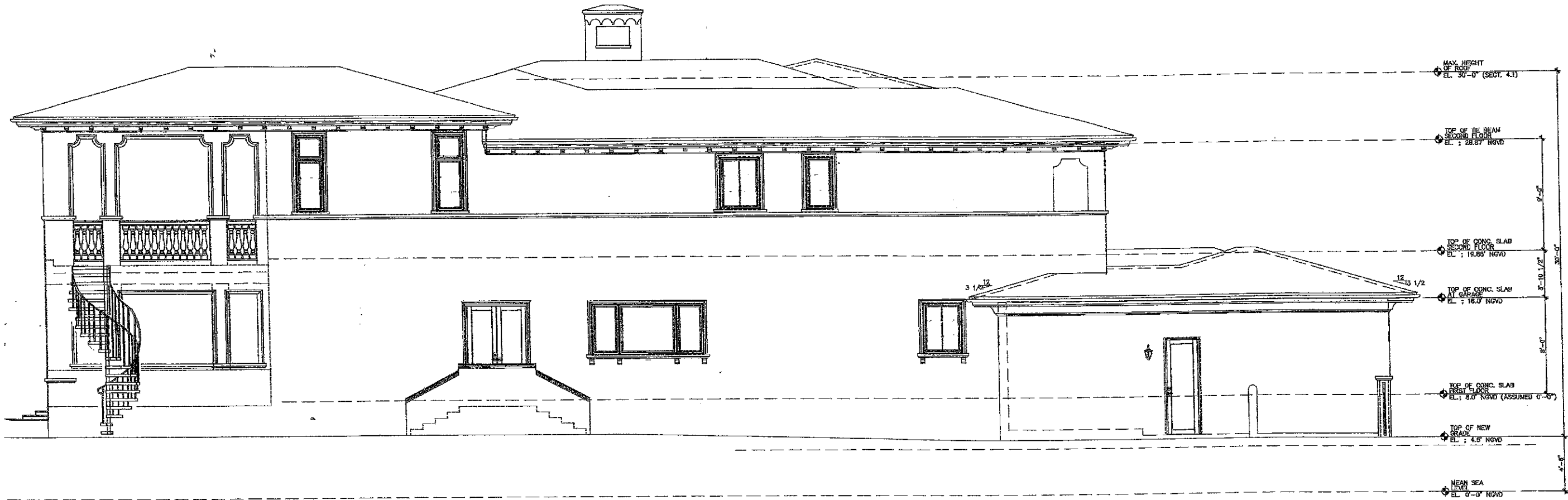
NO.	DATE	REVISION

RESIDENCE FOR:
 MR. PETER TOMASELLO
 922 S. SOUTHLAKE DRIVE
 HOLLYWOOD, FLORIDA
 CONTACT: MR. PETER TOMASELLO (305) 984-2883

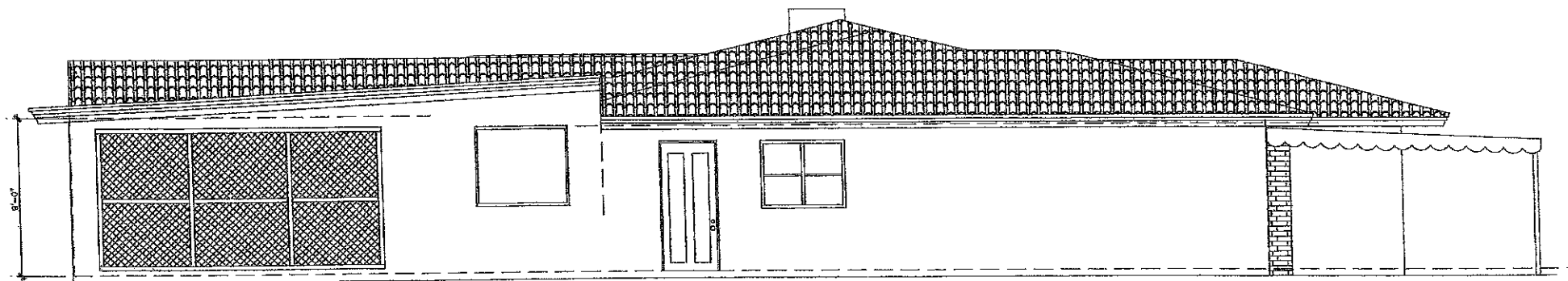
Miguel de Diego
 ARCHITECT P.A.
 1657 TYLER STREET SUITE 103 HOLLYWOOD, FLORIDA 33020
 AA-26001661
 TEL. (954) 926-3358 FAX (954) 926-2021

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COMM. NO.	11-158

10
14



PROPOSED LEFT SIDE ELEVATION (NORTH)



EXISTING LEFT SIDE ELEVATION (NORTH)

ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE IN FEET AND INCHES. FIELD DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK.

NO.	DATE	REVISION

RESIDENCE FOR:
 MR. PETER TOMASELLO
 922 S. SOUTHLAKE DRIVE
 HOLLYWOOD, FLORIDA
 CONTACT: MR. PETER TOMASELLO (305) 984-2363

Miguel de Diego
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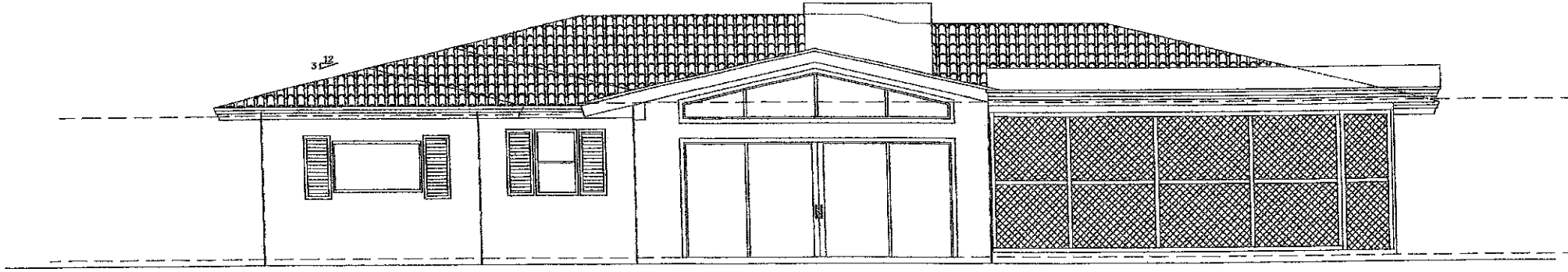
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PROPOSED REAR ELEVATION (EAST)



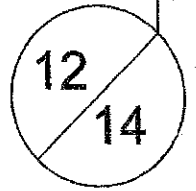
EXISTING REAR ELEVATION (EAST)

NO.	DATE	REVISION

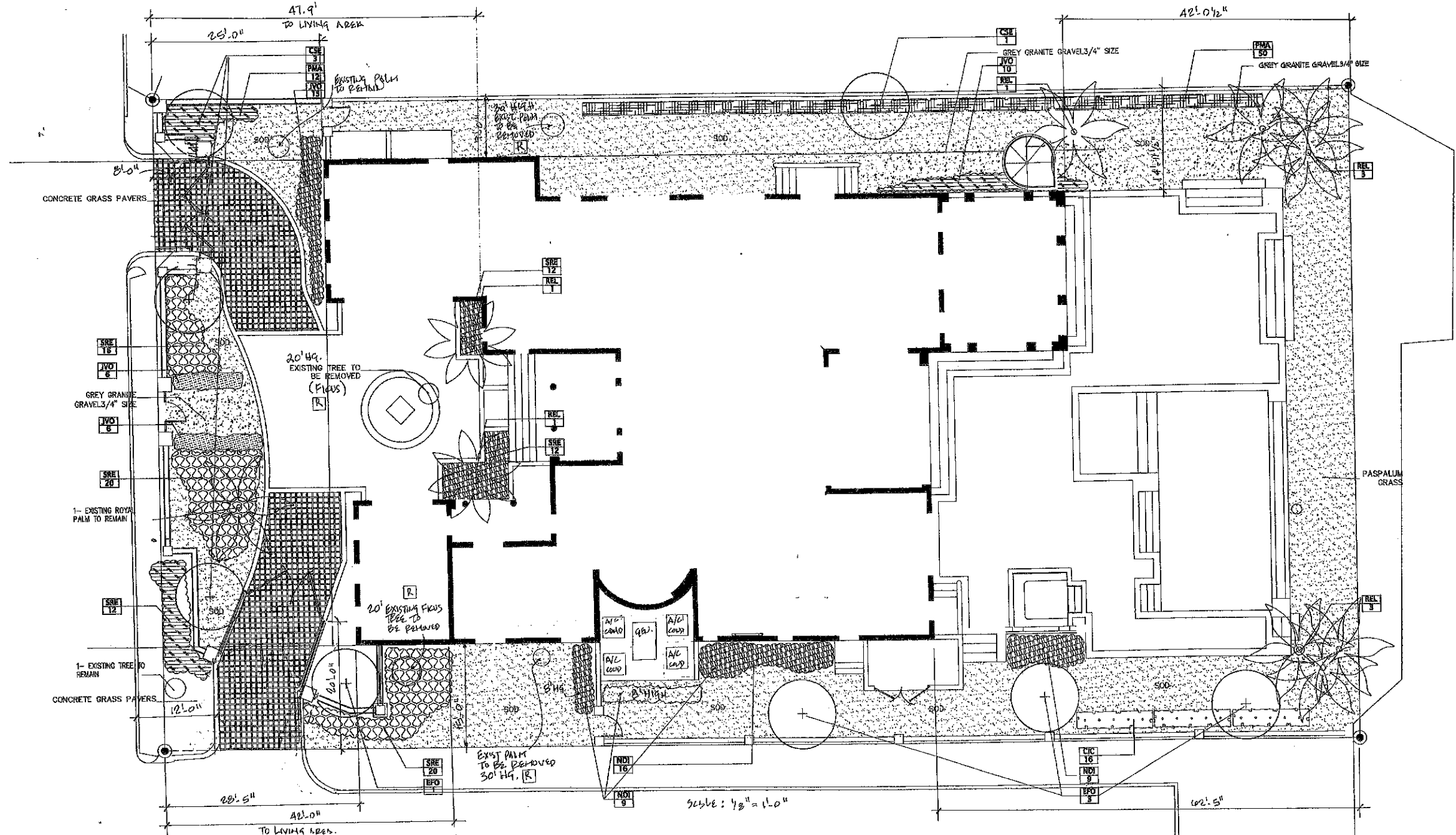
RESIDENCE FOR:
 MR. PETER TOMASELLO
 922 S. SOUTHLAKE DRIVE
 HOLLYWOOD, FLORIDA
 CONTACT: MR. PETER TOMASELLO (805) 984-2363

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CONTRACTOR SHALL VERIFY ALL DIMENSIONS, NOTES AND CONDITIONS PRIOR TO BEGINNING WITH ANY WORK.



LANDSCAPE NOTES

01. Non Cypress variety mulch shall extend under all trees, shrubs and ground cover beds to the closest hard edge or end border, a minimum of 3" depth. Red colored mulch will not be acceptable.
02. All plants shall meet the minimum standard of Fancy as specified in Grade and Standards for Nursery Plants as published by the Division of Plant Industry, Florida Department of Agriculture, latest edition.
03. All shrubs to be planted a minimum of 24", and ground covers a minimum of 12" from the edge of any landscape (walks, building walls, ponds edge, etc.). Shrubs such as bora, Rhipidopsis and other species which grow larger than 48" spread, shall be planted at 1/2 the estimated adult spread diameter from the edges of any landscape.
04. All trees and palms over 8' in height shall be braced to prevent lateral movement for a period of six months from the date of planting. Either wood braces as shown in the planting detail, or the wire and turnbuckle method shall be used. No nails, screws, metal straps or wires are to be used directly against the trees or palms trunks.
05. All palms except for species such as Cocos, Acoelomphs, Raphis, and other multitrunk palms, shall have straight trunks. No curved or arched trunks will be acceptable. All palms trunks shall be free of scars, decay or any damage caused by digging, transport or planting handling of the same.
06. All work by the Landscape Contractor shall be performed in a professional and sound manner in accordance with established standards of landscape installation practices and workmanship.
07. Landscape Contractor is responsible for verifying plant quantities prior to bidding. Quantities shown in the plans may vary due to actual site scale, job conditions etc... Landscape Architect assumes no responsibility for the actual plant count necessary for the successful completion of the work.

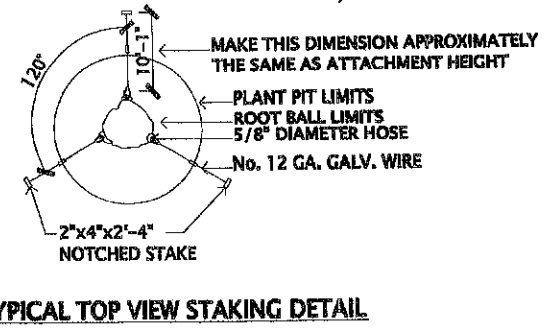
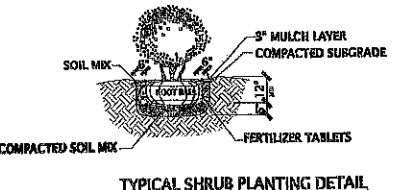
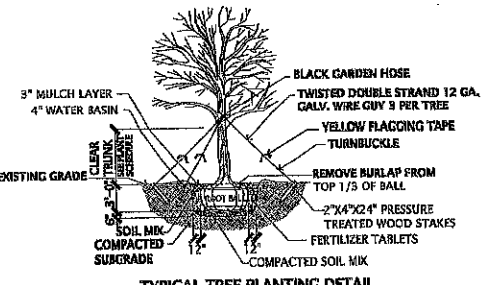
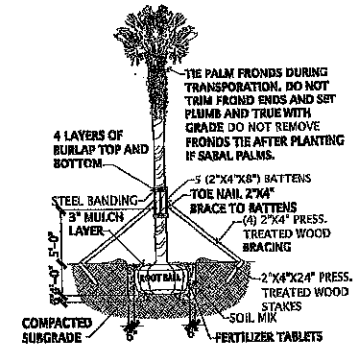
LANDSCAPE NOTES

08. Landscape Contractor and his subcontractors shall be licensed and insured as required by the municipality, county, state or any other governmental agency requiring a license or insurance in order for the Landscape Contractor to perform his work.
09. All work shall conform to the City of Hollywood landscape ordinance and any other municipal landscape ordinance in effect at the project's location.
10. Landscape Contractor is required to procure and obtain any necessary permits applicable for the successful completion of this project, if applicable.
11. Landscape material shall not be allowed to grow in such a manner as to impede street front triangle of visibility to property owner or neighbors, so as to materially impede vision between a height of 2.5 feet and 8 feet.
12. Landscape contractor shall call Sunshine State One Call Center of Florida at 1-800-432-4770 (Toll Free) 48 hours before digging.
13. Landscape Contractor is responsible for inspecting the site and physically observing all the site conditions prior to entering into Agreement or Contract with Owner. Landscape Contractor shall coordinate his work with the General Contractor or Construction Manager in such a manner as to allow for a speedy and orderly completion of all work on the site, and special attention to location of all underground wires, pipes, footings, etc...
14. Any excess soil, landscape materials and debris from the Landscape Contractor's work shall be removed from the site immediately upon completion of his works.
15. Should Landscape Contractor find any discrepancies, unavailability of material or any question regarding the adherence to this plan, no decision shall be taken without specific consultation with the Landscape Architect, including substitutions when required.
16. All planting material shall have 100% irrigation coverage and meet local code requirements.

PLANT LEGEND

Code	Botanical Name	Common Name	Height	Spread	Nat.	Quantity	Specification
EFO	Eugenia Foetida	Box-Leaf Eugenia	12'-14'	6'-7'	Y	4	2" cal.
CSE	Cordia Sebestena	Gelger tree	12'-14'	6'-7'	Y	1	2" cal.
CIC	Chrysobalanus Icaco	Cecopium	24"	18"	Y	36	30" o.c.
NDI	Nicodemia Diversifolia	Parlor Oak	24"	18"	Y	34	30" o.c.
SRE	Serenoa Repens	Saw Palmetto	14"	14"	N	68	18" o.c.
JVO	Jasminum Volubile	Wax Jasmine	14"	14"	N	37	18" o.c.
PMA	Podocarpus Macrophyllus	Yew Pine	5'-6'	-	N	50	-
REL	Roystonea Elata	Florida Royal Palm	10'	36"	Y	9	-
R	(To Be Removed)	Flows & Royal Palm	-	-	-	-	-

ABBREVIATIONS:
 g.t. - Gray Trunk
 c.t. - Clear Trunk
 o.c. - On Center
 B&B - Balled and Burlaped.
 o.a. - Overall Height
 SPD - Spread
 NAT. - Native specie.
 g.w. - Gray Wood
 cal. - Calliper
 gal. - Gallon



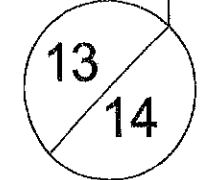
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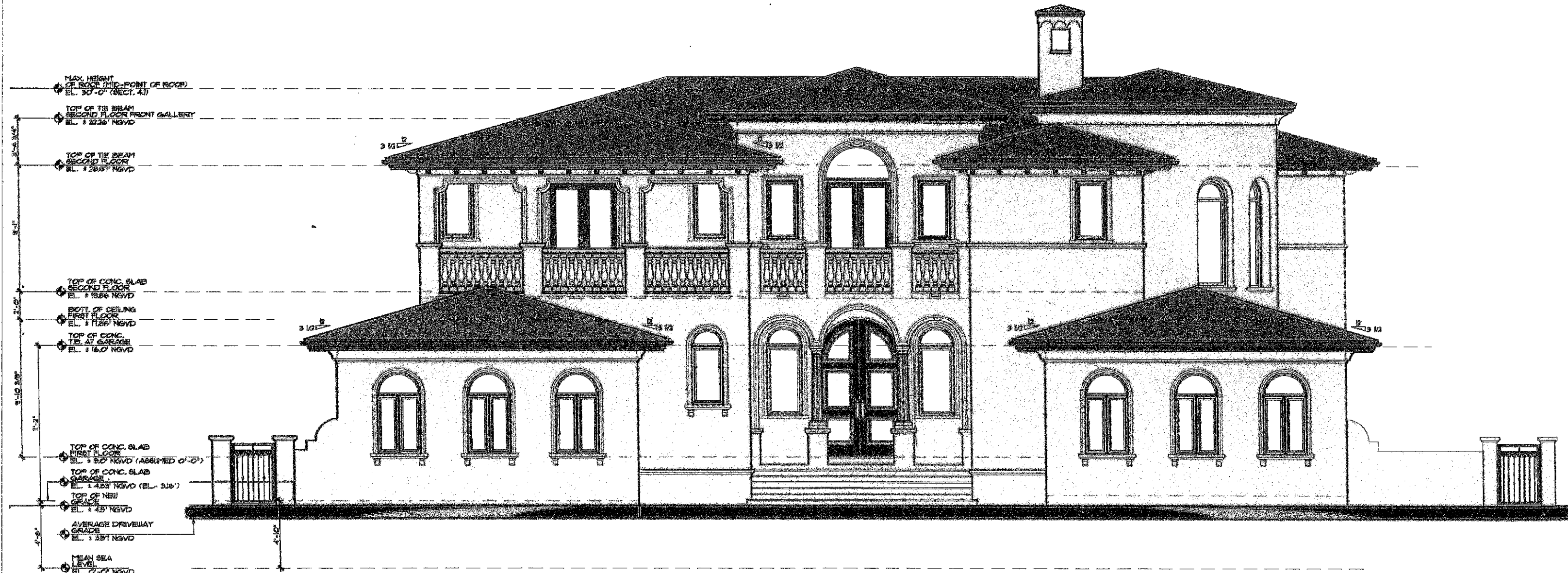
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RESIDENCE FOR:
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 922 S. SOUTHLAKE DRIVE
 HOLLYWOOD, FLORIDA
 CONTACT: MR. PETER TOMASELLO (805) 984-2363

Miguel de Diego
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 PE (954) 926-3358 FAX (954) 926-2021

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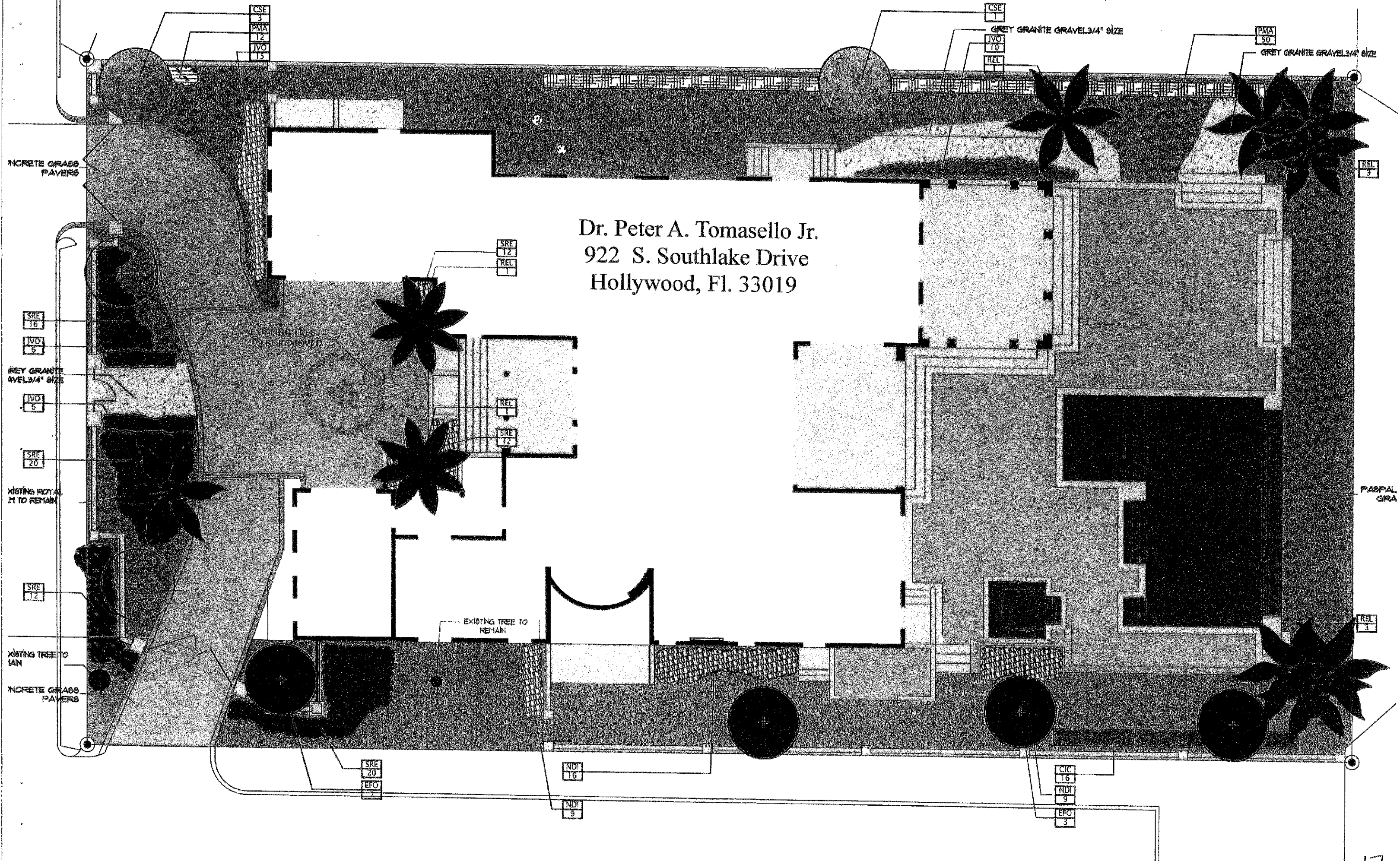




PROPOSED FRONT ELEVATION (WEST)
 SCALE: 1/4" = 1'-0"

Dr. Peter A. Tomasello Jr.
 922 S. Southlake Drive
 Hollywood, Fl. 33019

Dr. Peter A. Tomasello Jr.
922 S. Southlake Drive
Hollywood, Fl. 33019





922 S. Southlake Drive
Front Elevation

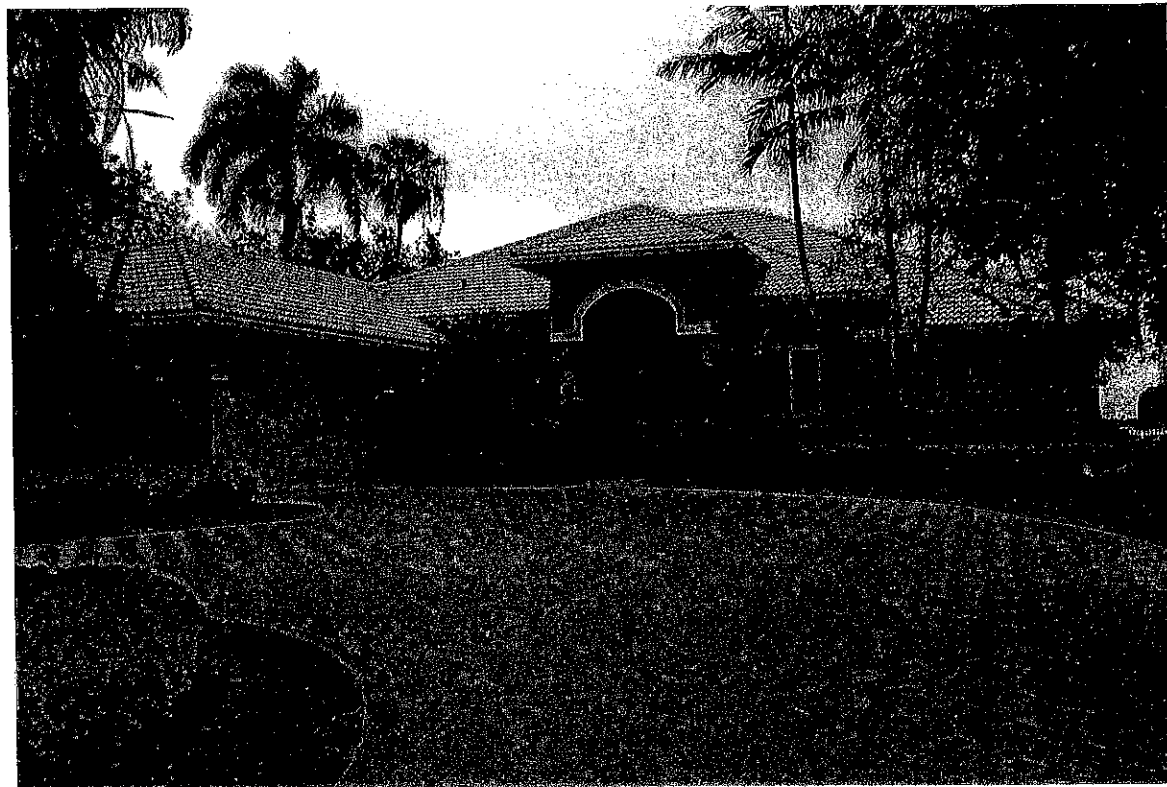
922 S. Southlake Drive
Front & South Elevation



922 S. Southlake Drive
Rear Elevation

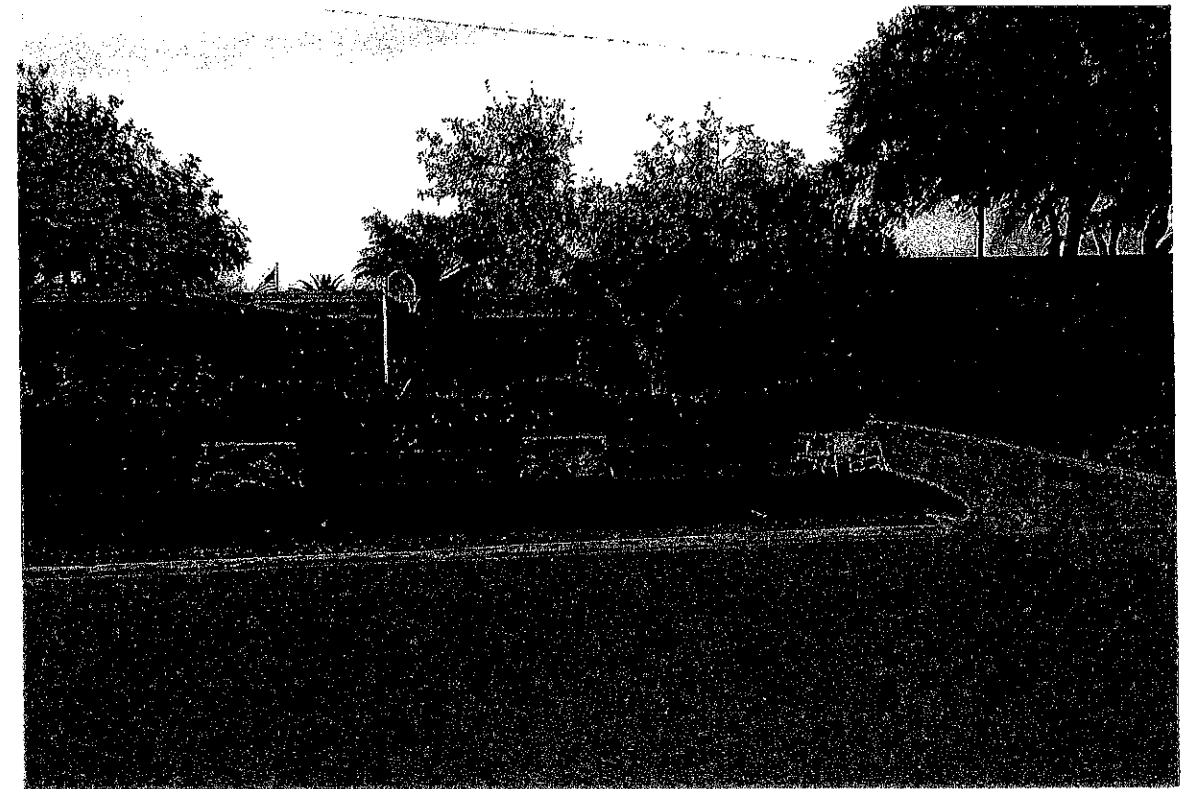
922 S. Southlake Drive
Rear & North Elevation





918 S. Southlake Drive
First Home to the North on Lake

900 S. Southlake Drive
Home across S. Southlake Drive



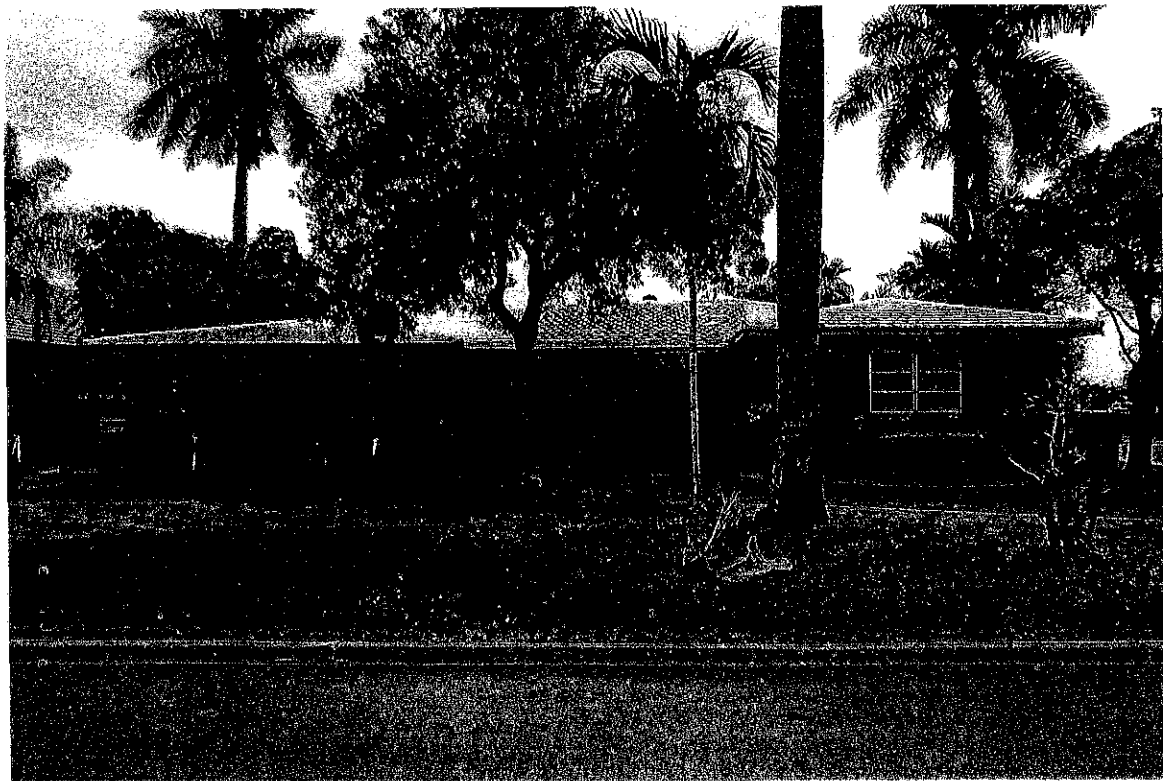
845 S. Southlake Drive
First Home to the South on Lake

910 Jefferson Street
Home across Jefferson Street



Not the last remaining example of its kind

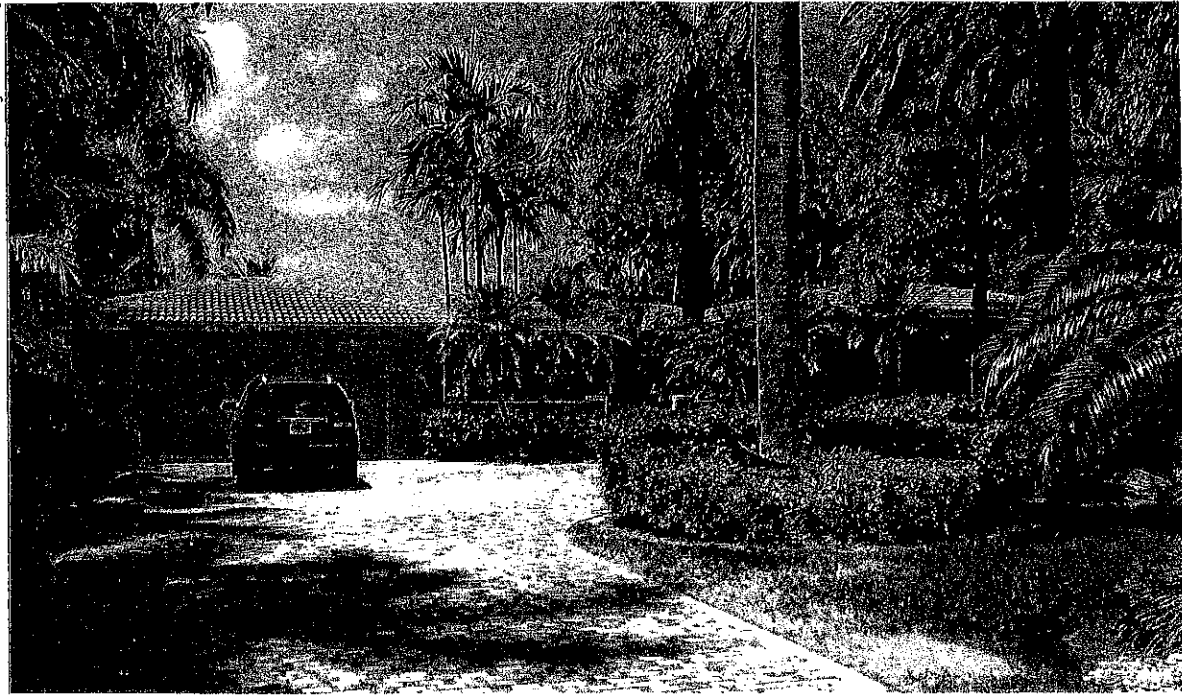
922 S. Southlake Drive



920 Jefferson Street

910 Washington Street





1030 S. Southlake Drive
One Story Home next to 1021 S. Southlake Drive



1021 S. Southlake Drive
Two Story Home next to 1030 S. Southlake Drive

818 S. 7 Avenue
Two Story Home next to 836 S. 7 Avenue

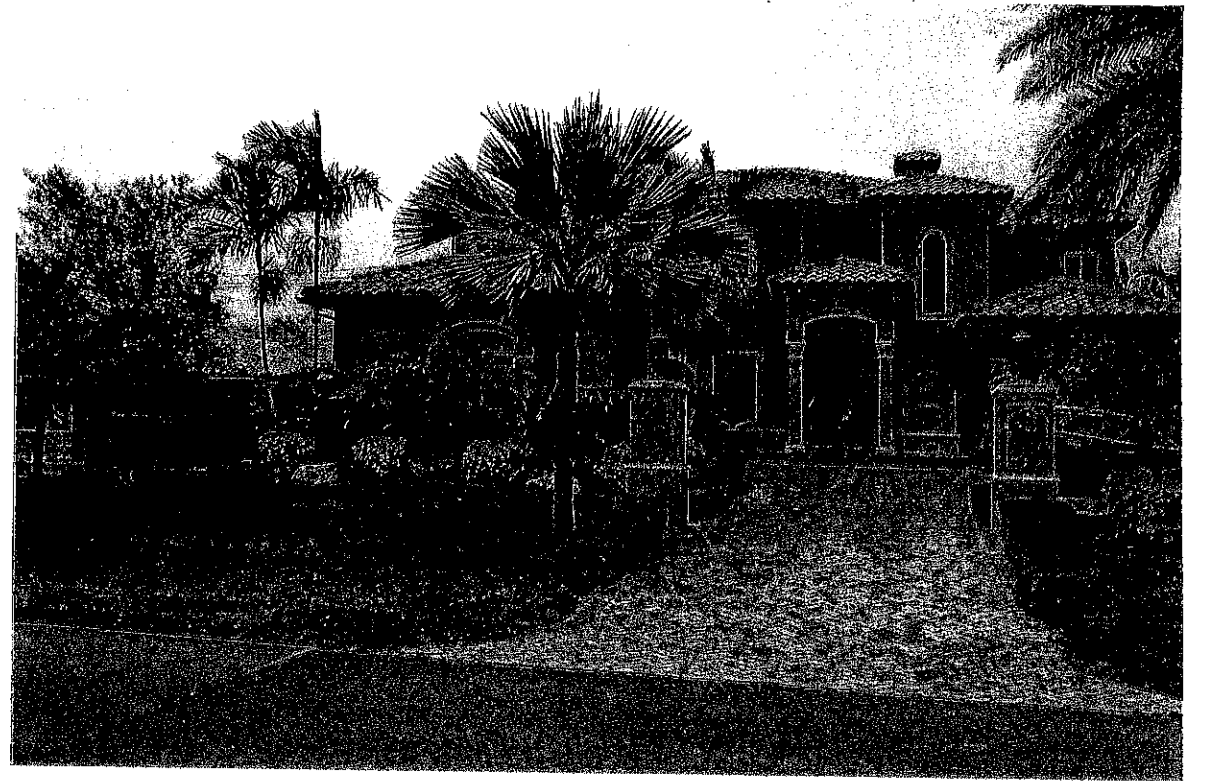


836 S. 7 Avenue
One Story Home next to 818 S. 7 Avenue





907 Washington Street
One story Home next to 901 Washington Street

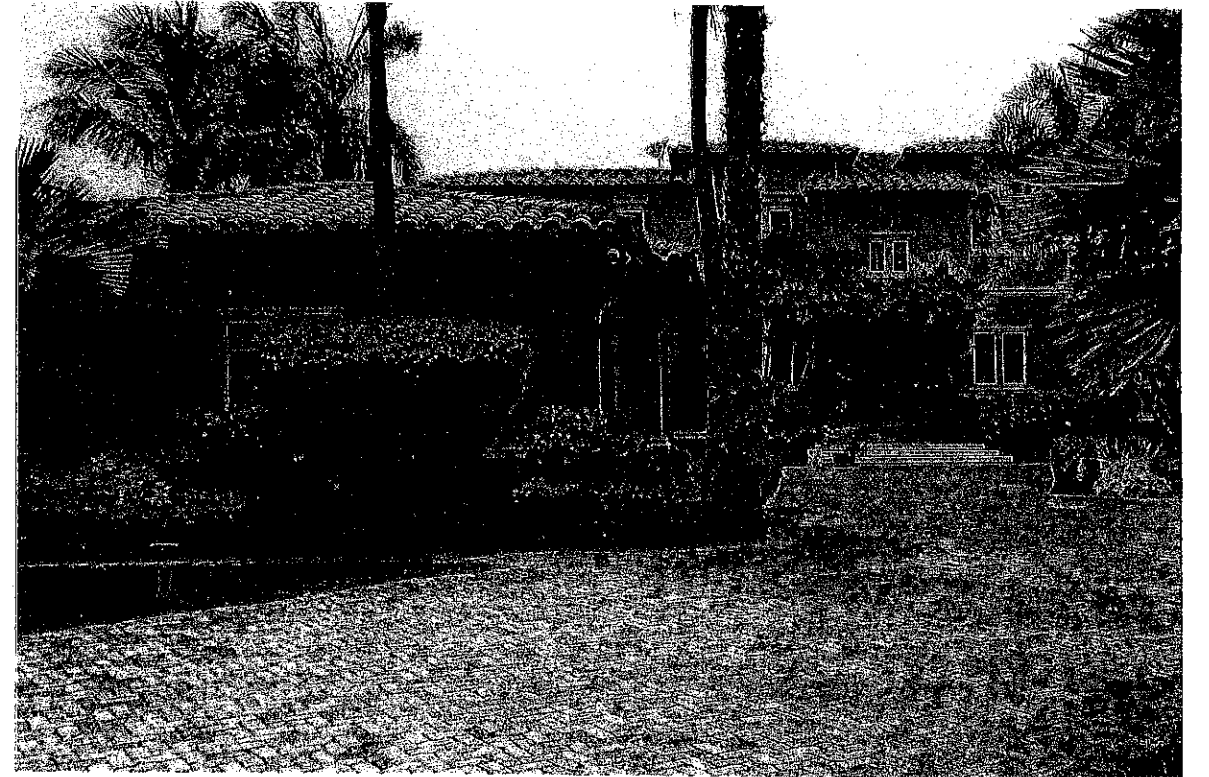


901 Washington Street
Two Story Home next to 907 Washington Street

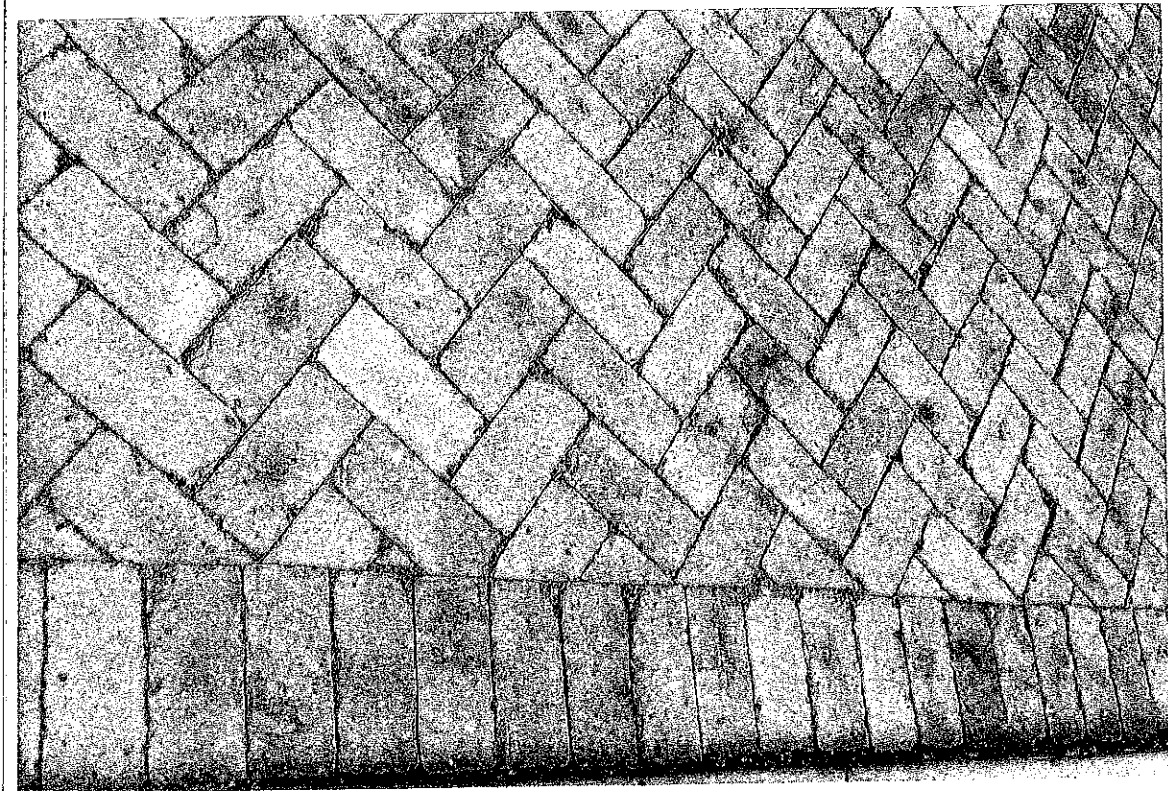
922 & 918 & 914 S. Southlake Drive
Rear East Elevation



914 S. Southlake Drive
Second Home North of 922 S. Southlake Drive



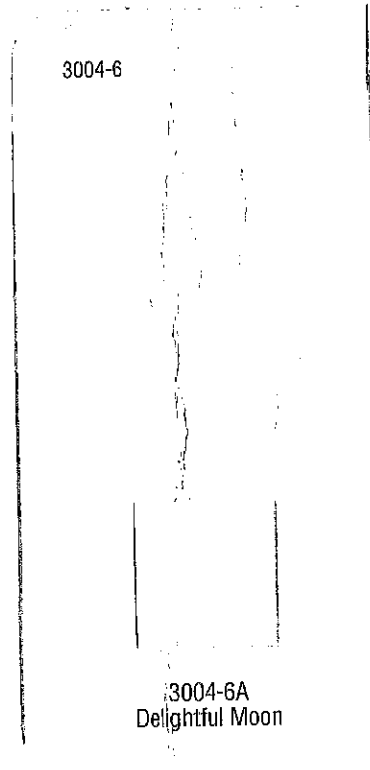
Example of Pavers Color and Pattern



Dr. Peter A. Tomasello Jr.
922 S. Southlake Drive
Hollywood, Fl. 33019

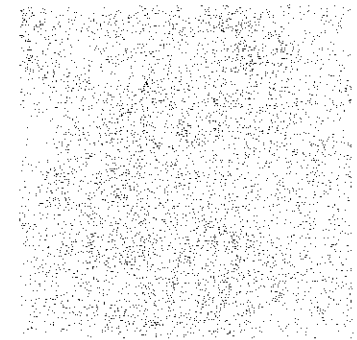
Exterior Color Selections

Exterior Wall Color



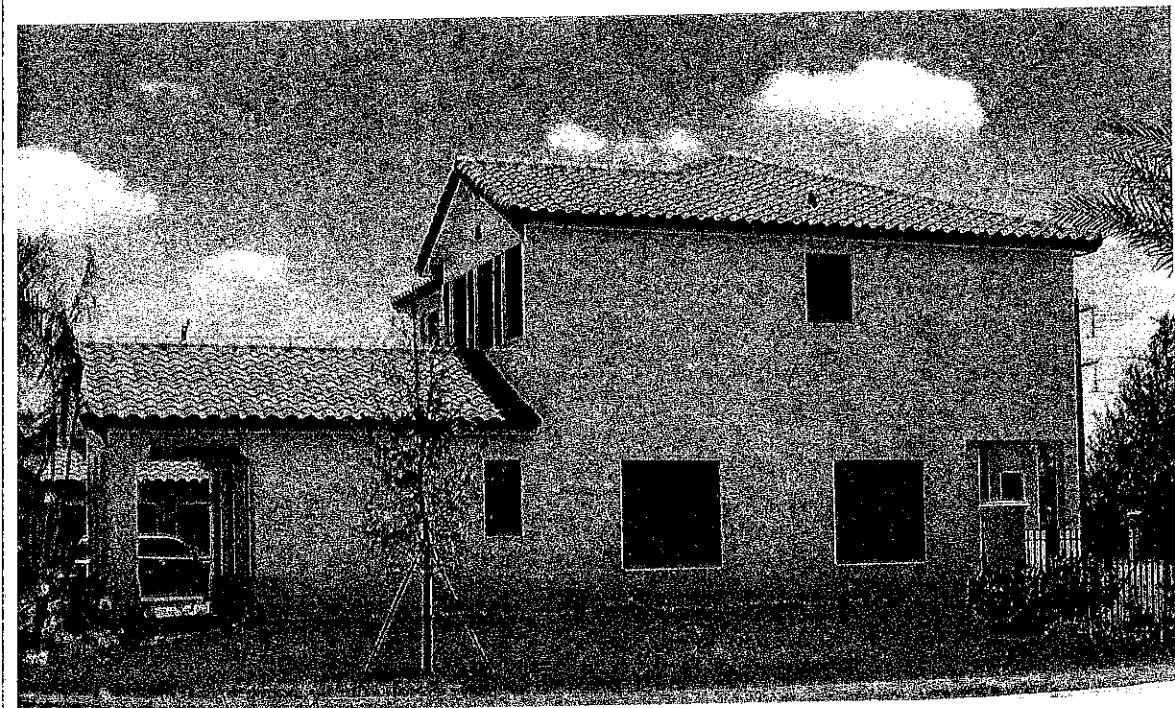
Covered Terraces Marble Floors,
Terrace Steps and Pool Coping

Cappuccino

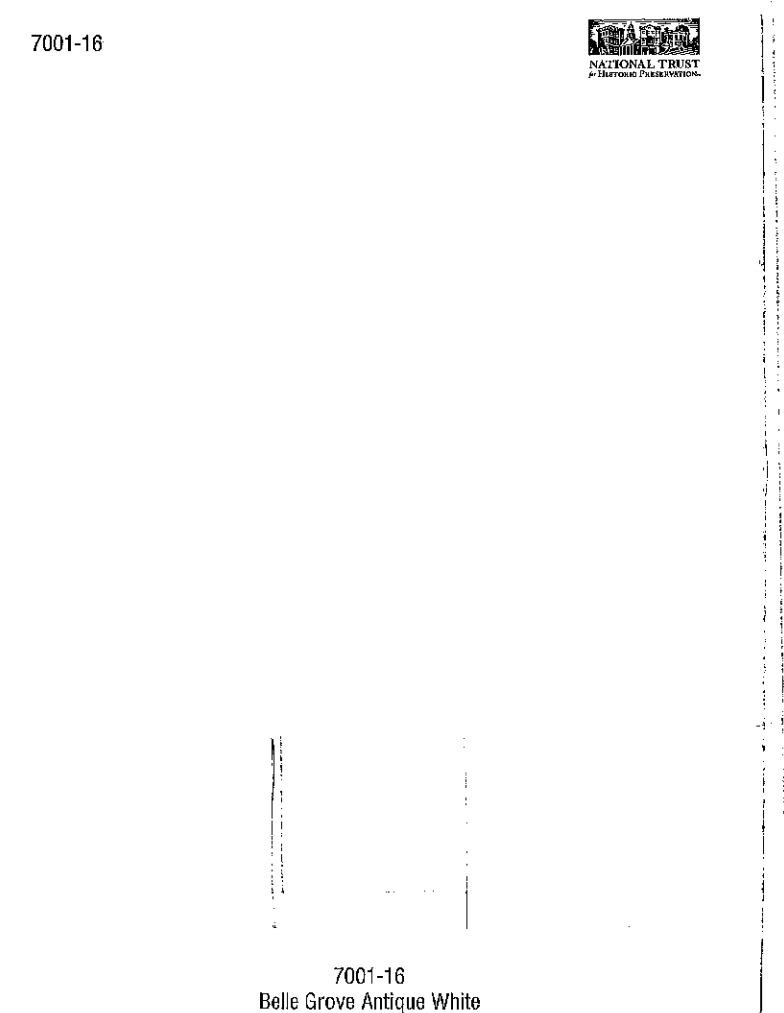
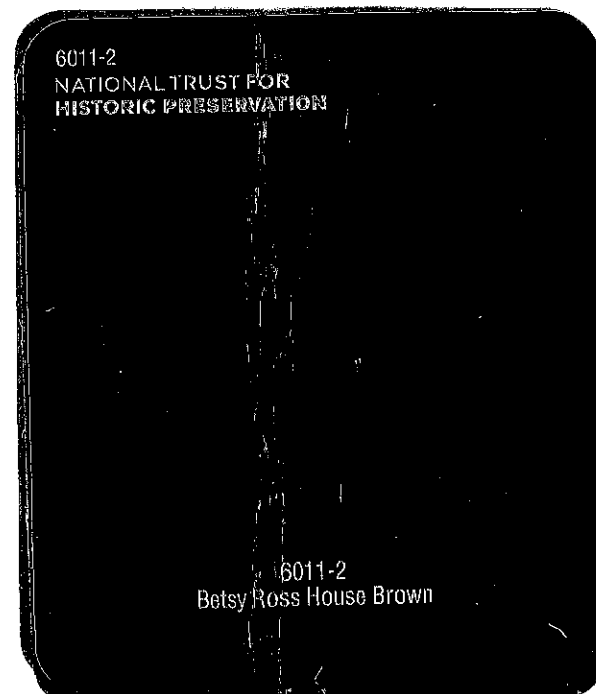


Balcony Railing, Window and Door Trim,
Eave Cornice and Wall Bands, Precast Columns,
Fence Column Caps and Fence Wall Caps

Example of Roof Tile Color and Profile



Roof Fascia, Soffet and Brackets,
Windows and Doors Frame Color

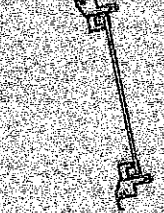


ALUMINUM FRAMES

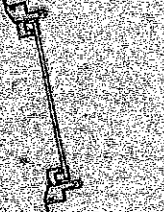
CASEMENT – SERIES CA740

- Projected windows are available
- Modular design, featuring self-contained operating and fixed sections, allows multiple window configurations, including X, XX, O and XO
- Contoured sash is inset within the main frame for less exposure to elements
- Washable hinges, heavy-duty egress or egress washable hinges available
- Aluminum snap-on cover hides fixed window installation fasteners
- Truth® Maxim Series operators and multi-point locking system
- Ogee double applied muntins (ogee/flatbar)

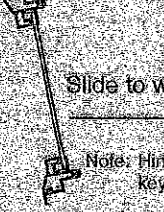
WASHABLE HINGE
UNITS UP TO 24"



EGRESS HINGE
UNITS OVER 24"

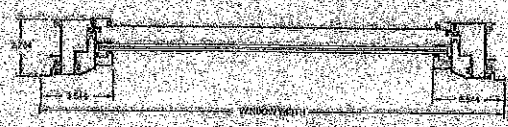
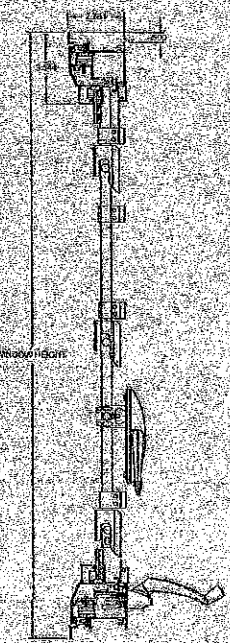


EGRESS WASHABLE HINGE
UPGRADE



Slide to wash

Note: Hinge release
Key required



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Hollywood, Fl. 33019

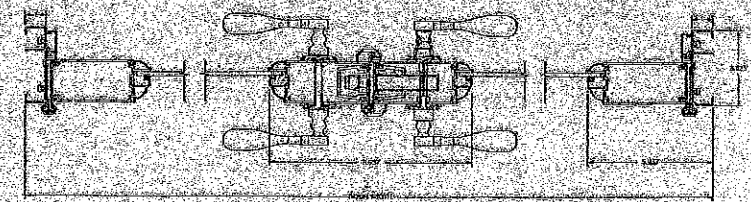
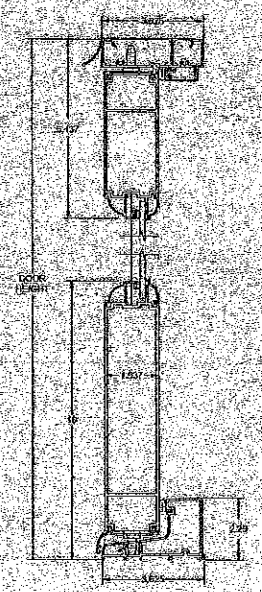
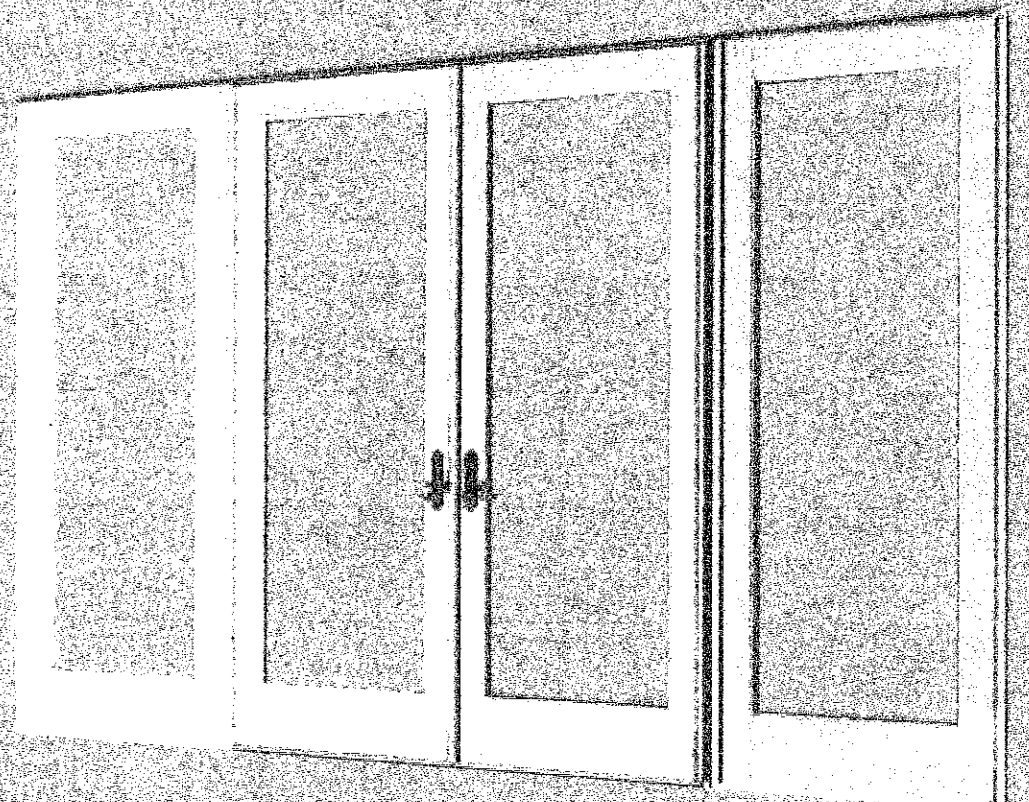
Product available with
**ETERNA®
Finish**

winguard.com

ALUMINUM FRAMES

FRENCH DOORS – SERIES FD750

- Traditional wood look with a nine inch bottom rail
- Multi-point stainless steel locking mechanism
- Prepped for European style hardware (not included, available from select or specialized hardware distributors). Optional PVD polished gold and PVD satin nickel trimsets are available (not included).
- Unique, continuous gear hinge
- Concealed installation screws
- Double ogee muntins available
- Two different sidelite styles to choose:
 - Full Jamb (shown) matches door profile
 - Narrow jamb has slimmer sides providing a wider glass area
- Optional laminated insulating glass available



Product available with
**ETERNA®
Finish**

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Run Report

Next Action

CITY OF HOLLYWOOD FLORIDA
Metropolitan Parcel Information Management System

PERMIT HISTORY INQUIRY

Action NX In,En,Iq,Sq,Nx,By Line 0

Address 922 0 S SOUTH LAKE DR Permit

Permit Number	Work Description	Film Number	Date
1.B9202370	RE-ROOF-FLAT	F924458	041792
2.M9401578	A/C - CENTRAL - REPLACEMENT	9506865	112994
3.B8902103	FUMIGATION	8901155	041789 *
4.B9201903	RE-ROOF-FLAT	9301824	032792
5.B9205912	RE-ROOF-FLAT	F930813	090492
6.B9206792	RE-ROOF-FLAT	9301824	101392
7.M9200936	REPLACE CONDENSING UNIT	9502812	072992
8.M9200937	A/C - CENTRAL - REPLACEMENT	9503071	072992
9.M9300148	A/C - CENTRAL - REPLACEMENT	9503071	021193
10.B9604504	FENCE-WOOD, CHAIN LINK, ETC.	9605695	062696 *
11.E8901332	AIR CONDITIONING-ELECTRICAL	F893771	090189
12.E9602664	MIN/NO PLAN REQ OR LOW VOLTAGE PHONE/TV	9607109	071596
13.E9602665	ALARM - RESIDENTIAL - CENTRAL - AUDIBLE	9607068	071596
14.M8900932	MECHANICAL WORK	F893774	090189
15.B9006752	ADDITION	F911452	101690 *
16.B9007253	POOL - RESIDENTIAL	9306000	110890

T1

JOB CARD

OWNER Dr. and Mrs. Singer		JOB ADDRESS 922 S S Lake Drive					
LEGAL DESCRIPTION 13 and 14	LOT NUMBER 59	SUBDIVISION OR ZONING Hollywood Lakes					
MICROFILM NO. 79-0250	ARCHITECT Davis	FEE \$	PERMIT 1,500				
DESCRIPTION OF CONSTRUCTION pool							
TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE	CONTRACTOR
BUILDING				SEPTIC/SEWER			
ROOF				AIR/CONDITION			
ELECTRIC-BASIC				Mechanical			
ELECTRIC-SUPP.				SCREEN			
PLUMBING	NO. FT.			POOL	15,000GA	6700	8-1-77
L.P. DRY WALL				DRIVEWAY			
FENCE				PATIO or WALK			
NOTES:							

JOB CARD

OWNER DR. & MRS. S. SINGER
JOB ADDRESS 922 S. S. Lake Drive

LEGAL DESCRIPTION LOT NUMBER 13 & 14
BLOCK 39
SECTION Hollywood Lakes

MICROFILM NO. 11-0096
ARCHITECT J. S. Kantor
FEE \$ 25.00
VARIATION \$ 4400.00

DESCRIPTION OF CONSTRUCTION Den addition

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	NUMBER	DATE
BUILDING	194	31387	2-27-76	OSCAR PERE	SEPTIC/SEWER	
ROOF	300	31943	3-24-76	ALPHA ROOF	AIR/CONDITION	
ELECTRIC-BASIC		10703	3-19-76	LONG ELEC	MECHANICAL	
ELECTRIC-SUPP.					SCREEN	
PLUMBING	NO. FIX.				POOL	
L.P. DRY WALL					DRIVEWAY	
FENCE					PATIO AT WALK	

NOTES:
 Need A1- permit before do

NAME OF Home & Food [Illegible]
LEGAL DESCRIPTION Lot 13-14 Block 39 Hollywood Lakes

Owner's Present Address [Illegible]
Description of Construction Cost \$16,700

Single Family Res.

Permit Type	No.	Date Issued	To Whom	Plumber or Other
Bldg	16653	4-19-51	Oscar Pere	
Electrical	54124	11-15-63	Walter Long	
	9901	8-11-61	Walter Long	
Plumbing	2845	11-19-63	Walter Long	
	6766	8-3-51	Walter Long	
Other	6766	8-3-51	Walter Long	

INSPECTIONS

FOUNDATION	1st Rough Pkg. 8-11-51	Temp. Service
COLUMNS <td>Final Rough Pkg. <td>Rough Electric 6-1-51</td> </td>	Final Rough Pkg. <td>Rough Electric 6-1-51</td>	Rough Electric 6-1-51
TIE BEAM 5-22-51 <td>Septic Tank 8-24-51</td> <td>Temporary Final</td>	Septic Tank 8-24-51	Temporary Final
CAP <td>Grease Trap</td> <td>Final Electric 9-15-51</td>	Grease Trap	Final Electric 9-15-51
GAS 8-20-51 <td>Final Plumbing 8-30-51</td> <td>Rubbish Final</td>	Final Plumbing 8-30-51	Rubbish Final
	Cert. of Occupancy	

Remarks: [Illegible]

NAME OF J. HERBERT
LEGAL DESCRIPTION Lot 13-14 Block 39 Hollywood Lakes

Owner's Present Address [Illegible]
Description of Construction Addition Cost \$16,700

Permit Type	No.	Date Issued	To Whom	Plumber or Other
Bldg				
Electrical				
Plumbing				
Other				

NO.	16653	DATE ISSUED	4-19-51	TO WHOM	...
Electrical	54224	11-15-51	...	...	...
Plumbing	9901	8-21-51	...	...	...
Gas	17645	11-19-51	...	...	...
Gas	6768	8-3-51	...	...	...
Gas	6768	8-3-51	...	...	...

INSPECTIONS

FOUNDATION	1st Rough Pkg. 8/11/51	Temp. Service
COLUMNS	Final Rough Pkg.	Rough Electric
POOR BRAM 5-22-51	Septic Tank 8-24-51	Temporary Pool
CAP	Grease Trap	Final Electric
GAS 2-20-51	Final Plumbing 8-20-51	Final Electric
	Cert. of Occupancy	Final Electric

OWNER: J. HENRY

LEGAL DESCRIPTION: Lot 13-14, Block 20, ...

OWNER'S PRESENT ADDRESS: ...

DESCRIPTION OF CONSTRUCTION: ...

PERMIT TYPE: Addition

Permit Type	No.	Date Issued	To Whom	Amount of Work
Roof	12710	1-5-51	...	...
Electrical	19435	4-11-51	...	...
Plumbing	15940	3-14-51	...	...
Gas	15940	3-14-51	...	...

INSPECTIONS

FOUNDATION	1st Rough Pkg. 3/17/51	Temp. Service
COLUMNS	Final Rough Pkg. 4/17/51	Rough Electric
POOR BRAM 4/17/51	Septic Tank 4/17/51	Temporary Pool
CAP	Grease Trap 4/17/51	Final Electric
GAS	Final Plumbing 5/10/51	Final Electric
	Cert. of Occupancy 5/10/51	Final Electric

ELECTRIC SUPP.	NO. FIX.	SCREEN			
PLUMBING		POOL			
L-P DRY WALL		DRIVEWAY			
FENCE		RATIO of WALL			

NOTES: County Surcharge \$2.80
RC 001636B

OWNER: MR. SAUL SINGER

JOB ADDRESS: 922 SOUTH SOUTH LANE DRIVE

LEGAL DESCRIPTION: LOT NUMBER 13 & 14, ...

MICROFILM NO. 73-1328

APPROX. COST: \$ 16,700

PERMITS: \$ 7,000.00

DESCRIPTION OF CONSTRUCTION: BREAKFAST ROOM AND BATH

TYPE PERMIT	NUMBER	DATE	CONTRACTOR	TYPE PERMIT	AMOUNT	DATE
COVERING	667	7294	9-11-72	ONCAR PRO	...	...
ROOF	700	9637	12-13-72	ALPHA BUILDING	1913	12-13-72
ELECTRIC-BASIC	2687	10-13-72	M...	MECHANICAL		
ELECTRIC-SUPP.	3354	1-9-73	M...	SCREEN		
PLUMBING				POOL	1605	8-21-72
L-P DRY WALL				DRIVEWAY	3187	1-13-73
FENCE	645	2411	1-2-73	RATIO of WALL		

NOTES: ONE PERCENT OPEN SPACE SURCHARGE \$ 78.00

Criteria Statement for 922 S. Southlake Drive

Integrity of Location: In the remodel and new additions to above address the building lines are within the front, side and rear set backs. Therefore the side and rear set backs are aligned with the neighboring Home.

Design: The height of the new addition to above address is within restrictions therefore consistent with other 2 - Story Homes next to 1- Story Homes. As the Street Profile reflects the size, shape and spacing is consistent with the neighboring Home. The new addition will also have a Hip concrete S tile roof similar to other Homes in the area.

Setting: As the remodel and new additions to above address is very similar in design to neighboring Home and other Homes in the area the relationship to surrounding site and environment is very good .

Materials: Windows, Doors, Roof Tile, Pavers and Trim to be used at above address will be similar to other Homes in the area.

Workmanship: Even though the design and materials to be used at above address are similar to other Homes in the area, this Home is not a carbon copy.

Association: As the Street Profile reflects the window heights and sills are in line with the neighboring Home.



July 8, 2011

City of Hollywood
Building and Zoning Department
P.O. Box 229045
2600 Hollywood Blvd., Room 315
Hollywood, Florida 33022-9045

Attn: Building Official

Re : Financial Feasibility Study (Demolition)

Project : Residence
922 S. Southlake Drive
Hollywood, Florida

Dear Sir:

The following report is a feasibility study requirement, for Demolition, required by the Historic Preservation Board in the review process for the construction of a new two-story residential structure on an existing lot that contains an existing one-story residential structure that will be partially demolished to allow for the construction of the new two-story structure in compliance with the requirements of the Architect and Owner in compliance with the Florida Building Code.

The existing residential structure is considered to be contributing significantly to the historic character of a historically designated district.

EXISTING CONDITIONS

The existing structure is a one-story CBS structure on a concrete grade beam and precast concrete pile foundation system. The piles are spaced at 11'-0" to 14'-0" on center under all bearing walls. The grade beams are typically 8"x24" and span from pile to pile.

The floor system consists of 10" precast concrete joists at 24" on center. The floor surface is either a Cuban tile system supported directly by the joists or a concrete slab supported by a wire mesh system that was draped from joist to joist. The ends of the joists are supported by the cast-in-place grade beams.

The roof is a wood hand-framed truss system that is supported by the existing load bearing masonry walls. The trusses are typically tied down at 48" on center for uplift due to hurricane conditions. This is considerably less than current standards.



The existing floor elevation was constructed below the current base flood elevation established in that area. The existing elevation is approximately 2'-0" below the current flood level requirement for new or renovated structures per the FEMA guidelines.

PROPOSED STRUCTURE

The proposed structure is a two story CBS structure to be supported on concrete grade beams and concrete or steel piles. Several existing load bearing walls are proposed to be reused which will require strengthening the existing foundation per the requirements of the designated Structural Engineer.

The new first floor must be constructed to the current base flood elevation. This will require that the new floor slab be 2'-0" above the existing slab. The floor will be constructed with reinforced concrete as a structural slab. This slab will be supported on existing as well as new concrete grade beams and piling.

The second floor will be a precast concrete floor system that will carry design loads to the surrounding bearing walls and support beams or girder trusses. Columns may also be required for proper load distribution and foundation support.

The roof framing will be conventional wood trusses that will be pre-fabricated to the required configuration and supported by the new bearing walls and columns.

DEMOLITION REQUIREMENTS

The existing structure will require selective demolition in order to provide for the new structural wall design of the new layout. The walls on the east and west sides of the building are scheduled to be demolished. That would also include removal of the existing grade beams and support piling. The north and south walls are scheduled to remain in place and be incorporated into the new design.

The existing walls are to be increased in height to the requirements of the proposed structure. In addition, the existing first floor system must be removed. The old floor cannot support the weight of new compactable gravel fill material to bring the new floor to base flood elevation. The option will remain to use compactable gravel fill to raise the existing grade to the new base flood elevation and support the new structural slab.



The cost of demolition would include the removal of the east and west walls and foundation, as well as the existing concrete floor framing system. In addition, the roof would have to be completely removed to the tie beams of the existing load bearing walls.

We estimate that the proposed selective demolition of the concrete floor joists, concrete slabs, masonry walls, concrete grade beams and piling will cost \$40,400.00.

The proposed selective demolition is considerably more than the estimated cost of \$17,800.00 for complete demolition of all existing structures. We are only proposing the selective demolition approach.

SUMMARY

As a routine matter in order to avoid possible misunderstanding, nothing in this report should be construed directly or indirectly as a guarantee for any portion of the structure. To the best of my knowledge and ability, the report represents an accurate appraisal of the present condition of the building based upon careful evaluation of observed conditions, to the extent reasonably possible.

Please call if we can provide any additional information.

Very truly yours,

Edward A. Landers, P.E.

ATTACHMENT B
Aerial Photograph



922 S. Southlake Drive